

NE 1/4 SECTION 18, TOWNSHIP 24 N, RANGE 5 E, W.M.
LORENZINI SFR LOT 1

SURVEYOR'S NOTES: (BY SURVEYOR)

- ALL TITLE INFORMATION SHOWN ON THIS MAP HAS BEEN EXTRACTED FROM CHICAGO TITLE COMPANY OF WASHINGTON COMMITMENTS ORDER NO. 0193784-ETU DATED OCTOBER 15, 2020 AND ORDER NO. 0193785-ETU DATED OCTOBER 14, 2020. IN PREPARING THIS MAP, D.R. STRONG CONSULTING ENGINEERS INC. HAS CONDUCTED NO INDEPENDENT TITLE SEARCH NOR IS D.R. STRONG CONSULTING ENGINEERS INC. AWARE OF ANY TITLE ISSUES AFFECTING THE SURVEYED PROPERTY OTHER THAN THOSE SHOWN ON THE MAP AND DISCLOSED BY REFERENCED CHICAGO TITLE COMPANY OF WASHINGTON COMMITMENTS. D.R. STRONG CONSULTING ENGINEERS INC. HAS RELIED WHOLLY ON CHICAGO TITLE COMPANY OF WASHINGTON REPRESENTATIONS OF THE TITLE'S CONDITION TO PREPARE THIS SURVEY AND THEREFORE D.R. STRONG CONSULTING ENGINEERS INC. QUALIFIES THE MAP'S ACCURACY AND COMPLETENESS TO THAT EXTENT.
- THIS SURVEY REPRESENTS VISIBLE PHYSICAL IMPROVEMENT CONDITIONS EXISTING ON JUNE 10, 2021. ALL SURVEY CONTROL INDICATED AS "FOUND" WAS RECOVERED FOR THIS PROJECT ON JUNE 4, 2021.
- PROPERTY AREA = 28,644.14± SQUARE FEET (0.6576± ACRES).
- ALL DISTANCES ARE IN U.S. SURVEY FEET.
- THIS IS A COMBINED FIELD TRAVERSE AND GLOBAL NAVIGATION SATELLITE SYSTEMS SURVEY. A TRIMBLE S7 ONE-SECOND COMBINED ELECTRONIC TOTAL STATION AND A TRIMBLE R121 GLOBAL NAVIGATION SATELLITE SYSTEMS (GNSS) RECEIVER WERE USED TO MEASURE THE ANGULAR AND DISTANCE RELATIONSHIPS BETWEEN THE CONTROLLING MONUMENTATION AS SHOWN. CLOSURE RATIOS OF THE TRAVERSE MET OR EXCEEDED THOSE SPECIFIED IN WAC 332-130-090. ALL MEASURING INSTRUMENTS AND EQUIPMENT ARE MAINTAINED IN ADJUSTMENT ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
- UTILITIES OTHER THAN THOSE SHOWN MAY EXIST ON THIS SITE. ONLY THOSE UTILITIES WITH EVIDENCE OF THEIR INSTALLATION VISIBLE AT GROUND SURFACE ARE SHOWN HEREON. UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY. UNDERGROUND CONNECTIONS ARE SHOWN AS STRAIGHT LINES BETWEEN SURFACE UTILITY LOCATIONS BUT MAY CONTAIN BENDS OR CURVES NOT SHOWN. SOME UNDERGROUND LOCATIONS SHOWN HEREON MAY HAVE BEEN TAKEN FROM PUBLIC RECORDS. D.R. STRONG CONSULTING ENGINEERS INC. ASSUMES NO LIABILITY FOR THE ACCURACY OF PUBLIC RECORDS.
- CONTOUR INTERVAL = 2 FOOT. CONTOURS SHOWN ARE PRODUCED FROM A DIGITAL TERRAIN MODEL DERIVED FROM DIRECT FIELD OBSERVATIONS OBTAINED DURING THE COURSE OF THE FIELD TRAVERSE SURVEY. CONTOUR ACCURACY COMPLIES WITH NATIONAL MAP ACCURACY STANDARDS (AT LEAST 90 PERCENT OF THE ELEVATIONS ACCURATE WITHIN ONE-HALF THE CONTOUR INTERVAL).

SOIL AMENDMENT NOTE:

AREA (A) ENCOMPASSES THE ENTIRE SITE OUTSIDE OF HARD SURFACES. LANDSCAPE PLANTING FOR TURF AND PLANTING BED AREAS. STOCKPILE SITE DUFF AND TOPSOIL FOR ALL DISTURBED PERVIOUS AREAS AND REAPPLY WITH SOIL AMENDMENT AFTER GRADING AND CONSTRUCTION. MINIMUM SOIL AMENDMENT DEPTH 8-INCHES. PROVIDE A TOTAL OF 241 CU. YD. OF AMENDMENT FOR AN AREA OF 9,770 S.F. (AREAS FOR TURF AND PLANTING BEDS TO BE DETERMINED)

P.E. CERTIFICATION FOR SECTION B:

I HEREBY STATE THAT THIS CONSTRUCTION STORMWATER POLLUTION PREVENTION PLAN FOR 84X SE 47TH STREET HAS BEEN PREPARED BY ME OR UNDER MY SUPERVISION AND MEETS THE STANDARD OF CARE AND EXPERTISE WHICH IS USUAL AND CUSTOMARY IN THIS COMMUNITY FOR PROFESSIONAL ENGINEERS. I UNDERSTAND THAT THE CITY OF MERCER ISLAND DOES NOT AND WILL NOT ASSUME LIABILITY FOR THE SUFFICIENCY, SUITABILITY, OR PERFORMANCE OF CONSTRUCTION SWPPP BMPs PREPARED BY ME.

CONSTRUCTION NOTES:

- ALL UTILITIES TO BE DISCONNECTED OR REMOVED PRIOR TO THE START OF THE PROJECT. COORDINATE WITH UTILITY COMPANIES PRIOR TO DISCONNECTION OR REMOVAL.

GENERAL EROSION CONTROL NOTES:

ALL DISTURBED AREAS SHALL BE STABILIZED USING TYPICAL TESC BMPs. THE LIMITS OF DISTURBANCE SHALL BE DELINEATED WITH HIGH VISIBILITY CONSTRUCTION FENCING. DURING CONSTRUCTION SILT FENCES WILL BE PLACED DOWN SLOPE OF DISTURBED AREAS ALONG WITH STRAW MATTING, NETS, OR PLASTIC COVERING. EXPOSED SOIL OR STOCKPILES OF TREES TO BE RETAINED WILL BE PROTECTED WITH HIGH VISIBILITY CONSTRUCTION FENCING. AT THE COMPLETION OF THE PROJECT ALL DISTURBED AREAS WILL BE STABILIZED WITH COMPOST AMENDED SOILS AND HYDROSEEDING OR SOD. EXPOSED SOILS SHALL BE WORKED DURING THE WEEK UNTIL THEY HAVE BEEN STABILIZED. SOIL STOCKPILES WILL BE LOCATED WITHIN THE DISTURBED AREA SHOWN ON THE SWPPP SITE MAP. SOIL EXCAVATED FOR THE FOUNDATION WILL BE BACKFILLED AGAINST THE FOUNDATION AND GRADED TO DRAIN AWAY FROM THE BUILDING. NO SOILS SHALL REMAIN EXPOSED AND UNWORKED FOR MORE THAN 7 DAYS FROM MAY 1 TO SEPTEMBER 30 OR MORE THAN 2 DAYS FROM OCTOBER 1 TO APRIL 30. ONCE THE DISTURBED LANDSCAPE AREAS ARE GRADED, THE GRASS AREAS WILL BE AMENDED USING BMP 15.13 POST-CONSTRUCTION SOIL QUALITY AND DEPTH. ALL STOCKPILES WILL BE COVERED WITH PLASTIC OR BURLAP IF LEFT UNWORKED.

EARTHWORK VOLUME CALCULATIONS

SITE	CUT VOLUME (CU. YDS.)	FILL VOLUME (CU. YDS.)	NET VOLUME (CU. YDS.)
94	748	654 FILL	

ALL VOLUMES ARE APPROXIMATE AND ARE PROVIDED FOR PERMITTING PURPOSES AND REPRESENT FINISH GRADE TO EXISTING GRADE AS SHOWN. CONTRACTOR SHALL RELY ON HIS/HER OWN ESTIMATES FOR DETERMINING ACTUAL EARTHWORK QUANTITIES. THE VOLUMES DO NOT INCLUDE STRIPPING, STRUCTURAL EXCAVATION, UTILITY EXCAVATION, EXPANSION/COMPACTION FACTOR OR ANY SOIL TYPE RESTRICTIONS.

TESC LEGEND:

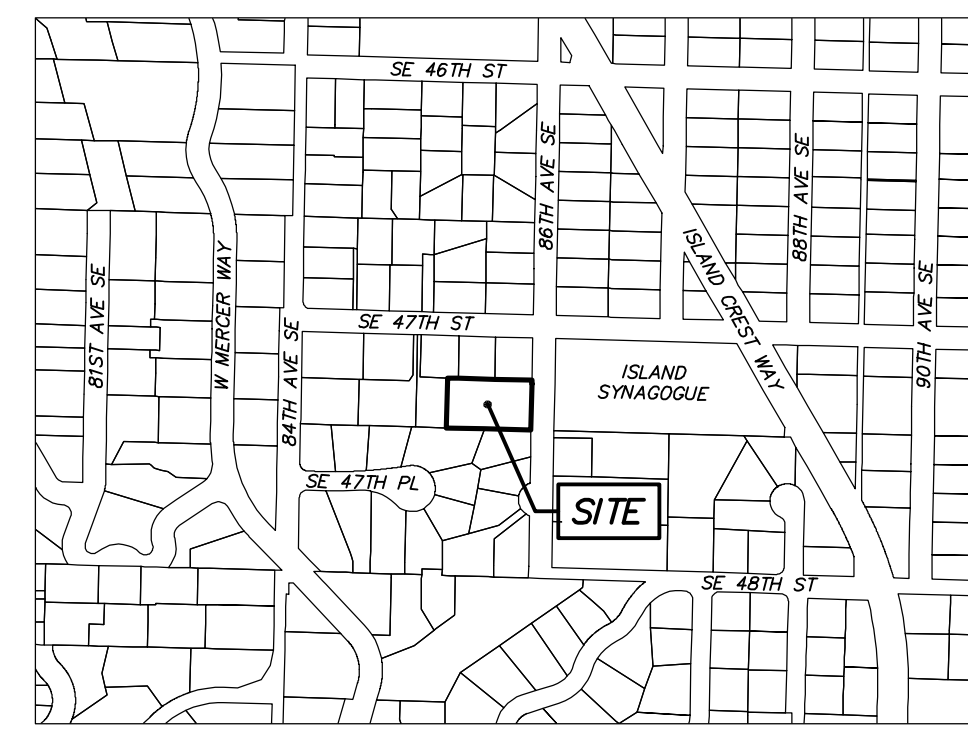
- FOR ADDITIONAL TESC DETAILS REFER TO DOE 2012/ 2014 SWMMWW
- CL CONSTRUCTION LIMITS, TO BE FLAGGED OR FENCED WHEN NO SILT FENCE IS PROPOSED (BMP C103)
 - SF SILT FENCE IS PROPOSED (BMP C233)
 - CE STABILIZED CONSTRUCTION ENTRANCE (BMP C105)
 - SSV STREET SWEEPING & VACUUMING
 - IP INLET PROTECTION (BMP C220)
 - DC DUST CONTROL (BMP C140)
 - MU MULCHING, MATTING, & COMPOST BLANKETS (BMP C121, BMP C125)
 - PS PERMANENT SEEDING AND PLANTING (BMP C120)
 - SA POST-CONSTRUCTION SOIL QUALITY & DEPTH (BMP 15.13) SEE DETAIL ON SHEET C2
 - CH CONCRETE HANDLING (BMP C151)
 - PC PLASTIC COVERING (BMP C123)
 - Tree to be removed
 - CRITICAL ROOT ZONE (TREE TO REMAIN)

CONSTRUCTION SEQUENCE

- ARRANGE AND ATTEND A PRECONSTRUCTION MEETING WITH THE CITY INSPECTOR.
- FLAG OR FENCE CLEARING LIMITS.
- CALL ONE-CALL UTILITY LOCATE SERVICE PRIOR TO ANY EXCAVATION WORK.
- GRADE/INSTALL ROCK CONSTRUCTION ENTRANCE IF NECESSARY.
- INSTALL PERIMETER PROTECTION (SILT FENCE, BRUSH BARRIER, ETC.).
- CONSTRUCT RESIDENCE AND OTHER SITE IMPROVEMENTS.
- MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH CITY OR COUNTY STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.
- MAINTAIN ACCESS TO OFF-SITE ROADS AND DRIVEWAYS AT ALL TIMES DURING THE DURATION OF THE PROJECT.
- RELOCATE EROSION CONTROL MEASURES OR INSTALL NEW MEASURES SO THAT AS SITE CONDITIONS CHANGE THE EROSION AND SEDIMENT CONTROL IS ALWAYS IN ACCORDANCE WITH THE CITY TESC MINIMUM REQUIREMENTS.
- COVER ALL AREAS THAT WILL BE UNWORKED FOR MORE THAN SEVEN DAYS DURING THE DRY SEASON OR TWO DAYS DURING THE WET SEASON WITH STRAW, WOOD FIBER MULCH, COMPOST, PLASTIC SHEETING OR EQUIVALENT.
- STABILIZE ALL AREAS THAT REACH FINAL GRADE WITHIN SEVEN DAYS.
- SEED OR SOD ANY AREAS TO REMAIN UNWORKED FOR MORE THAN 30 DAYS.
- UPON COMPLETION OF THE PROJECT, ALL DISTURBED AREAS MUST BE STABILIZED AND BMPs REMOVED IF APPROPRIATE AFTER ACCEPTANCE BY INSPECTOR.

LEGAL DESCRIPTION:

PARCEL A: (TAX PARCEL NO. 759810-0420-03)
 THE EAST 220 FEET OF LOTS 1 AND 2, BLOCK 13, VITUS SCHMID'S EAST SEATTLE ACRE TRACTS, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 7 OF PLATS, PAGE 76, RECORDS OF KING COUNTY, WASHINGTON;
 EXCEPT THE NORTH 110 FEET OF SAID LOT 1.
 SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.



VICINITY MAP

SCALE 1" = ±500'

SHEET INDEX:

- C1 OF 5 COVER SHEET & T.E.S.C. PLAN
- C2 OF 5 T.E.S.C. NOTES & DETAILS
- C3 OF 5 GRADING & UTILITIES PLAN
- C4 OF 5 STORM PROFILE & DETAILS
- C5 OF 5 TREE PLAN

PROJECT CONTACTS:

- PROPERTY OWNER/APPLICANT.....TODD SHERMAN
 DESIGN BUILT HOMES
 11400 SE 8TH STREET, SUITE 415
 BELLEVUE, WA 98004
 (206) 909-8187
 TODD@LUXURYDBH.COM
- CIVIL ENGINEER.....D.R. STRONG CONSULTING ENGINEERS
 620 7TH AVENUE
 KIRKLAND, WASHINGTON 98033
 (425) 827-3063
 CONTACT: MAHER A. JOUDI, P.E.
 MAHER.JOUDI@DRSTRONG.COM
- SURVEYOR.....D.R. STRONG CONSULTING ENGINEERS
 620 7TH AVENUE
 KIRKLAND, WASHINGTON 98033
 (425) 827-3063
 CONTACT: JAMES G. REICHHOFF, P.L.S.
 JAMES.REICHHOFF@DRSTRONG.COM
- GEOTECHNICAL ENGINEER.....EARTH SOLUTIONS NW, LLC.
 15365 NE 90TH STREET, SUITE 100
 REDMOND, WASHINGTON 98052
 (425) 449-4704
 CONTACT: STEVE AVRIL
 STEVE.A@ESNW.COM

PROJECT DESCRIPTION:

- SITE ADDRESS.....4719 86TH AVENUE SE
 TAX PARCEL NUMBER.....7598100420-03
 NUMBER OF LOTS.....1
 ZONING.....R-9.6
 SITE AREA.....14,974 S.F. (0.344 ACRES)
 (POST SHORT PLAT)
 GROSS PROJECT AREA.....25,618 S.F. (0.588 ACRES)
 PROPOSED GROSS FLOOR AREA.....4,518 S.F.
 PROPOSED IMPERVIOUS AREA.....6,614 S.F. (44.2%)
 REPLACED IMPERVIOUS AREA.....0 S.F. (0.0%)
 PROPOSED PERVIOUS AREA.....8,360 S.F. (19.2%)
 EXISTING LOT COVERAGE.....993 S.F. (0.1%)
 PROPOSED LOT COVERAGE.....3,433 S.F. (22.9%)
 PROPOSED BUILDING HEIGHT.....23.26 FT.
 NUMBER OF PARKING SPACES.....2 MIN.

GRADING NOTE:

TOTAL AREA TO BE DISTURBED ON-SITE.....14,974 S.F.
 TOTAL AREA TO BE DISTURBED OFF-SITE.....5,367 S.F.
 FILL SHALL CONSIST OF SUITABLE MATERIAL ORIGINATING FROM THE SITE OR FROM AN APPROVED SUPPLIER.

VERTICAL DATUM: (BY SURVEYOR)

NAVD 88

BASIS OF BEARINGS: (BY SURVEYOR)

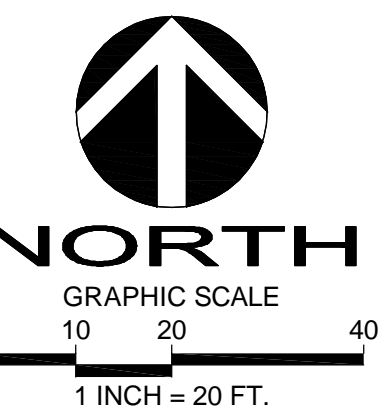
NORTH 01°01'21" EAST BETWEEN THE MONUMENTS FOUND AT THE INTERSECTION OF 86TH AVENUE SE AND SE 47TH STREET, AND IN THE CENTERLINE OF 86TH AVENUE SE AND CU-DE-SAC, AS SHOWN ON THE PLAT OF HILL HIGH ESTATES, VOLUME 68 OF PLATS, PAGE 28.

METHOD OF SURVEY: (BY SURVEYOR)

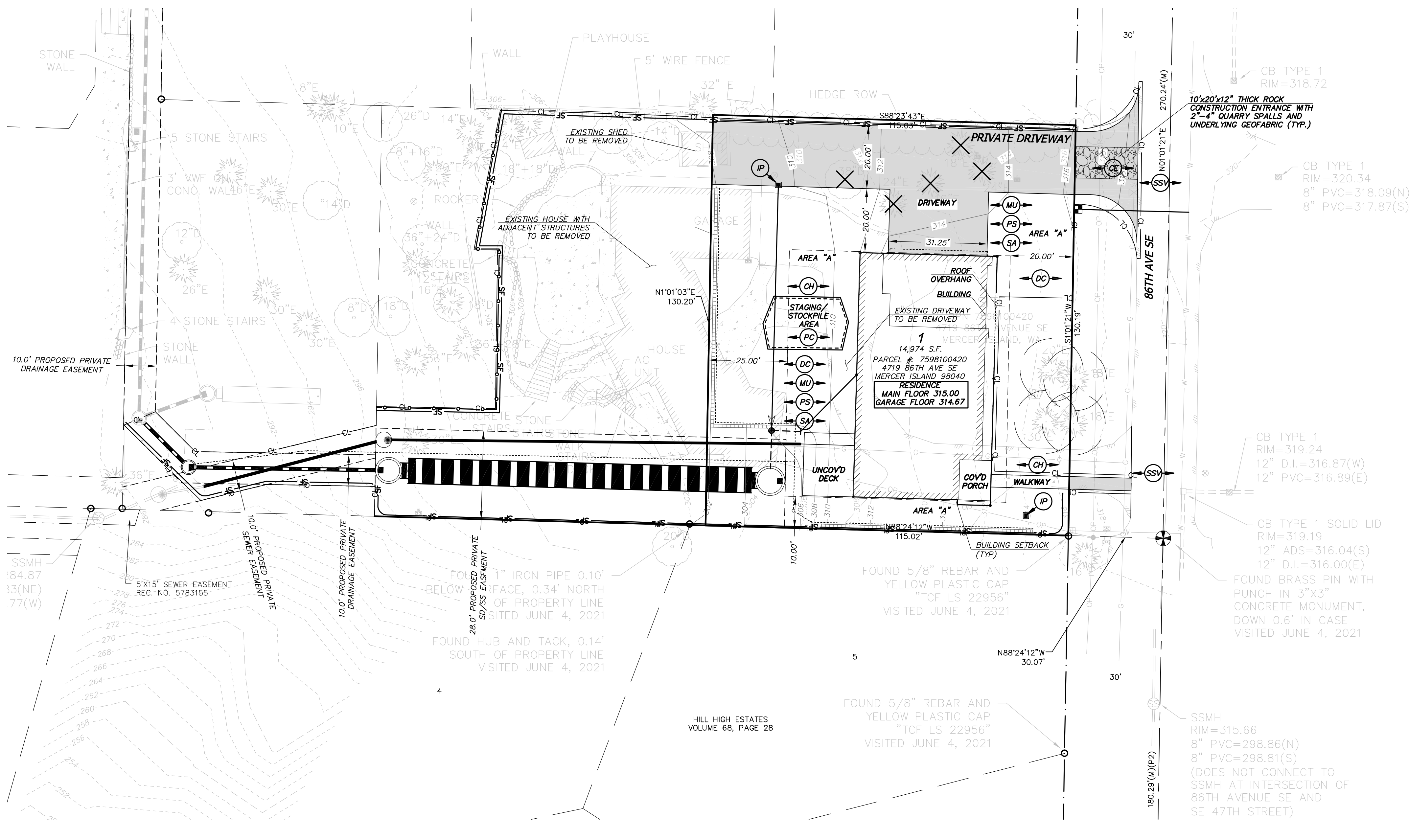
INSTRUMENTATION FOR THIS SURVEY WAS A LEICA ELECTRONIC DISTANCE MEASURING UNIT. PROCEDURES USED IN THIS SURVEY WERE DIRECT AND REVERSE ANGLES. NO CORRECTION NECESSARY. MEETS KING COUNTY AND STATE STANDARDS SET BY WAC 332-130-090.

BENCHMARK:

FOUND COPPER TACK IN LEAD IN 4"x4" CONCRETE MONUMENT, DOWN 0.6' IN CASE, AT THE INTERSECTION OF 86TH AVENUE SE AND SE 47TH STREET. GNSS OBSERVATION OF MONUMENT PRODUCED THE ELEVATION OF 317.158'.



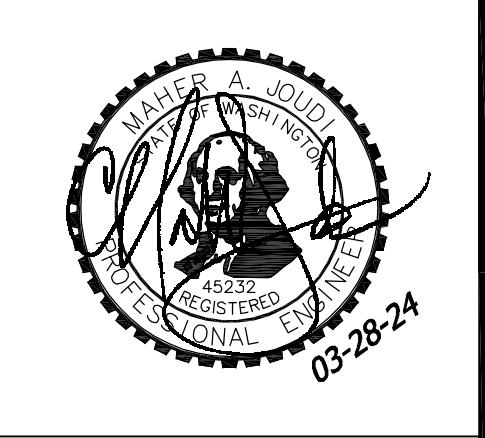
811
 Call 2 Working Days Before You Dig
 Utilities Underground Location Center
 (D.M.T.N.O.R.W.A.)



DRS
 D.R. STRONG
 CONSULTING ENGINEERS
 ENGINEERS PLANNERS SURVEYORS
 620 - 7th AVENUE KIRKLAND, WA 98033
 O 425.827.3063 F 425.827.2423

LORENZINI SFR LOT 1
 COVER SHEET & T.E.S.C. PLAN
 4719 86TH AVENUE SE
 MERCER ISLAND
 WASHINGTON 98040
 PARCEL NO. 7598100420

TODD SHERMAN
 DESIGN BUILT HOMES
 11400 SE 8TH STREET, SUITE 415
 BELLEVUE, WASHINGTON 98004
 206-909-8187

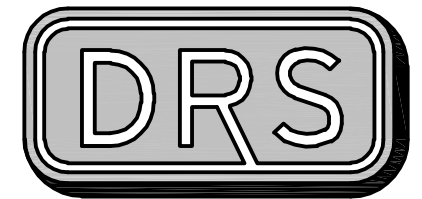


DATE	REVISION	PER AGENCY COMMENTS
03.28.24		

DRAFTED BY: JSE
 DESIGNED BY: JSE
 PROJECT ENGINEER: MAJ
 DATE: 10.18.23
 PROJECT NO.: 21071

DRAWING: C1
 SHEET: 1 OF 5

LORENZINI SFR LOT 1



D.R. STRONG
CONSULTING ENGINEERS
ENGINEERS PLANNERS SURVEYORS

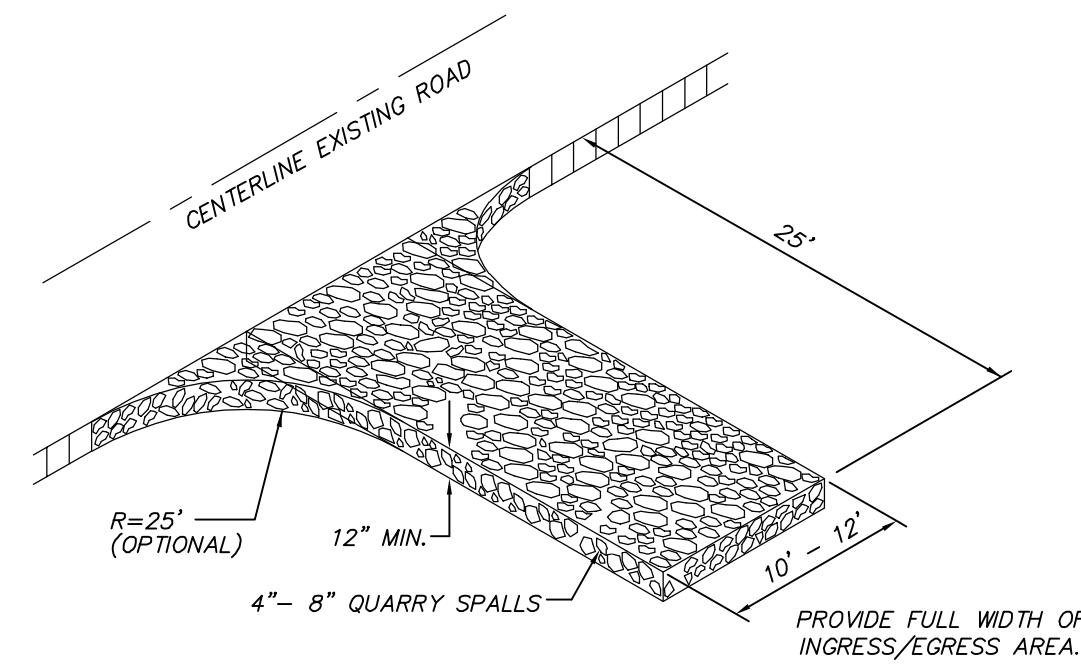
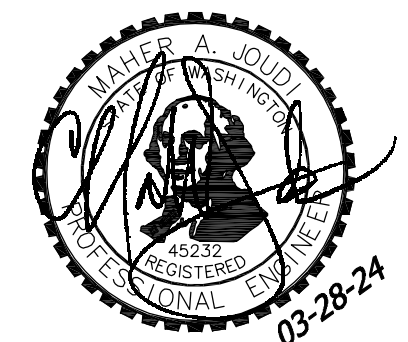
620 - 7th AVENUE KIRKLAND, WA 98033
O 425.827.3063 F 425.827.2423

LORENZINI SFR LOT 1

T.E.S.C. NOTES & DETAILS
4719 86TH AVE SE
MERCER ISLAND
WASHINGTON 98040
PARCEL NO. 7588100421

TODD SHERMAN
DESIGN BUILT HOMES

11400 SE 8TH STREET, SUITE 415
BELLEVUE, WASHINGTON 98004
206-909-8187



DRIVEWAYS SHALL BE PAVED TO THE EDGE OF R-O-W PRIOR TO INSTALLATION OF THE CONSTRUCTION ENTRANCE TO AVOID DAMAGING OF THE ROADWAY. IT IS RECOMMENDED THAT THE ENTRANCE BE CROWNED SO THAT RUNOFF DRAINS OFF THE PAD.

GRAVEL CONSTRUCTION ENTRANCE

NTS

TREE PROTECTION AREA (TPZ)

KEEP OUT!

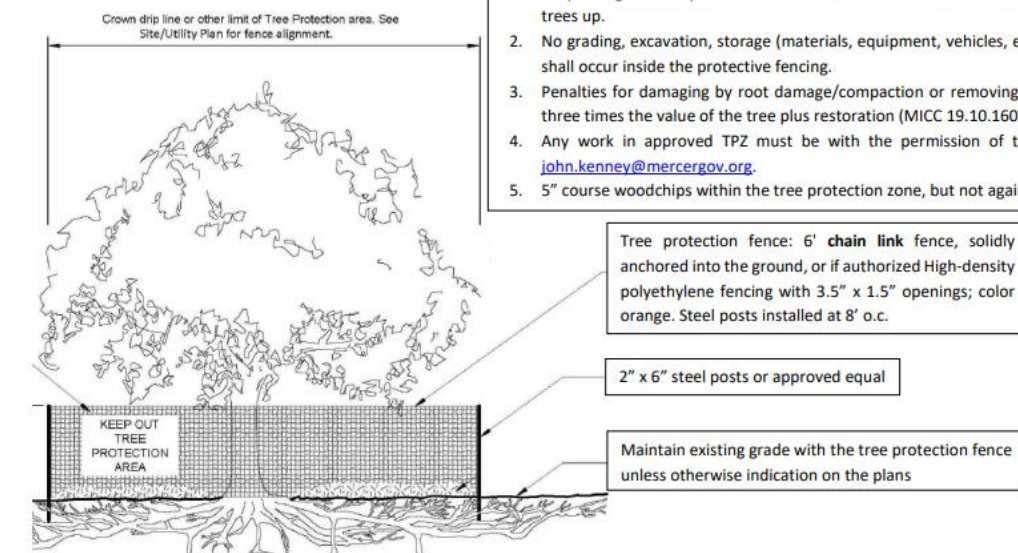
DO NOT REMOVE OR ADJUST THE APPROVED LOCATION OF THIS TREE PROTECTION AREA

Trees enclosed by this fence are protected and are subject to the conditions of the tree permit. Violation of tree conditions may lead to:

1. Correction Notices or Stop Work Orders until compliance is achieved.
2. RE Inspection Fees/financial penalties.
3. Arborist reports recommending mitigation.

Notes:

1. No pruning shall be performed unless under the direction of the Project Arborist. Including limbing trees up.
2. No grading, excavation, storage (materials, equipment, vehicles, etc.), or other unpermitted activity shall occur inside the protective fencing.
3. Penalties for damaging by root damage/compaction or removing a saved tree may be a fine up to three times the value of the tree plus restoration (MCC 19.10.130).
4. Any work in approved TPZ must be with the permission of the City Arborist (206) 275-7713, john.kenne@mercergov.org.
5. 5' course woodchips within the tree protection zone, but not against the tree trunk.

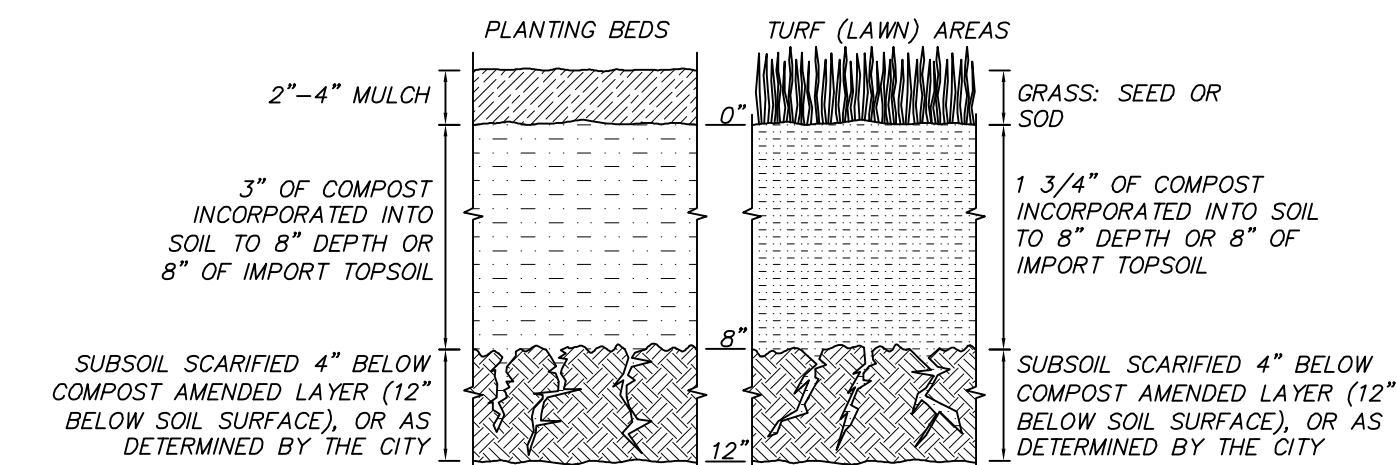


Any Work in the protected area must be with the permission of the City Arborist john.kenne@mercergov.org

TREE PROTECTION FENCING IN CITY ROW NOT TO EXCEED 3 FEET; ORANGE PLASTIC FENCE ACCEPTABLE

TREE PROTECTION FENCING

NTS



SOIL AMENDMENT

PER BMP 15.13

NTS

SOIL AMENDMENT NOTES

SOIL RETENTION: RETAIN, IN AN UNDISTURBED STATE, THE DUFF LAYER AND NATIVE TOPSOIL TO THE MAXIMUM EXTENT PRACTICABLE, IN ANY AREAS REQUIRING GRADING REMOVE AND STOCKPILE THE DUFF LAYER AND TOPSOIL ON SITE IN A DESIGNATED, CONTROLLED AREA, NOT ADJACENT TO PUBLIC RESOURCES AND CRITICAL AREAS, TO BE REAPPLIED TO OTHER PORTIONS OF THE SITE WHERE FEASIBLE.

SOIL QUALITY: ALL AREAS SUBJECT TO CLEARING AND GRADING THAT HAVE NOT BEEN COVERED BY IMPERVIOUS SURFACE, INCORPORATED INTO A DRAINAGE FACILITY OR ENGINEERED AS STRUCTURAL FILL OR SLOPE SHALL, AT PROJECT COMPLETION, DEMONSTRATE THE FOLLOWING:

1. A TOPSOIL LAYER WITH A MINIMUM ORGANIC MATTER CONTENT OF 10% DRY WEIGHT IN PLANTING BEDS, AND 5% ORGANIC MATTER CONTENT IN TURF AREAS, AND A PH FROM 6.0 TO 8.0 OR MATCHING THE PH OF THE UNDISTURBED SOIL. THE TOPSOIL LAYER SHALL HAVE A MINIMUM DEPTH OF EIGHT INCHES EXCEPT WHERE TREE ROOTS LIMIT THE DEPTH OF INCORPORATION OF AMENDMENTS NEEDED TO MEET THE CRITERIA. SUBSOILS BELOW THE TOPSOIL LAYER SHOULD BE SCARIFIED AT LEAST 4 INCHES WITH SOME INCORPORATION OF THE UPPER MATERIAL TO AVOID STRATIFIED LAYERS, WHERE FEASIBLE.
2. MULCH PLANTING BEDS WITH 2-4 INCHES OF ORGANIC MATERIAL.
3. USE COMPOST AND OTHER MATERIALS THAT MEET THESE ORGANIC CONTENT REQUIREMENTS:
 - A. THE ORGANIC CONTENT FOR "PRE-APPROVED" AMENDMENT RATES CAN BE MET ONLY USING COMPOST MEETING THE COMPOST SPECIFICATION FOR BIORETENTION (BMP 17.30), WITH THE EXCEPTION THAT THE COMPOST MAY HAVE UP TO 35% BIOSOLIDS OR MANURE. THE COMPOST MUST ALSO HAVE AN ORGANIC MATTER CONTENT OF 40% TO 65%, AND A CARBON TO NITROGEN RATIO BELOW 25:1. THE CARBON TO NITROGEN RATIO MAY BE AS HIGH AS 35:1 FOR PLANTINGS COMPOSED ENTIRELY OF PLANTS NATIVE TO THE PUGET SOUND LOWLANDS REGION.
 - B. CALCULATED AMENDMENT RATES MAY BE MET THROUGH USE OF COMPOSTED MATERIAL MEETING (A.) ABOVE, OR OTHER ORGANIC MATERIALS AMENDED TO MEET THE CARBON TO NITROGEN RATIO REQUIREMENTS, AND NOT EXCEEDING THE CONTAMINANT LIMITS IDENTIFIED IN TABLE 220-B, TESTING PARAMETERS, IN WAC 173-330-220. THE RESULTING SOIL SHOULD BE CONGRUOUS TO THE TYPE OF VEGETATION TO BE ESTABLISHED.

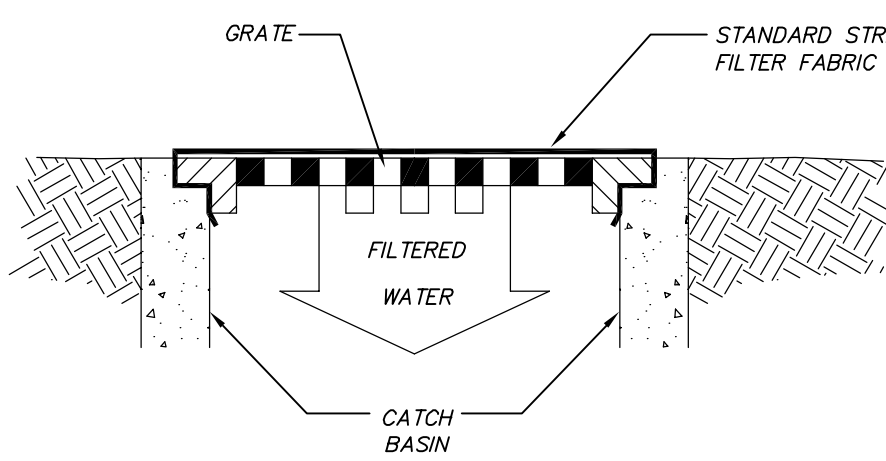
IMPLEMENTATION OPTIONS: THE SOIL QUALITY DESIGN GUIDELINES LISTED ABOVE CAN BE MET BY USING ONE OF THE METHODS LISTED BELOW:

1. LEAVE UNDISTURBED NATIVE VEGETATION AND SOIL, AND PROTECT FROM COMPACTION DURING CONSTRUCTION.
2. AMEND EXISTING SITE TOPSOIL OR SUBSOIL EITHER AT DEFAULT "PRE-APPROVED" RATES, OR AT CUSTOM CALCULATED RATES BASED ON TESTS OF THE SOIL AND AMENDMENT.
3. STOCKPILE EXISTING TOPSOIL DURING GRADING, AND REPLACE IT PRIOR TO PLANTING. STOCKPILED TOPSOIL MUST ALSO BE AMENDED IF NEEDED TO MEET THE ORGANIC MATTER OR DEPTH REQUIREMENTS, EITHER AT A DEFAULT "PRE-APPROVED" RATE OR AT A CUSTOM CALCULATED RATE.
4. IMPORT TOPSOIL MIX OF SUFFICIENT ORGANIC CONTENT AND DEPTH TO MEET THE REQUIREMENTS.

MORE THAN ONE METHOD MAY BE USED ON DIFFERENT PORTIONS OF THE SAME SITE. SOIL THAT ALREADY MEETS THE DEPTH AND ORGANIC MATTER QUALITY STANDARDS, AND IS NOT COMPACTED, DOES NOT NEED TO BE AMENDED.

MAINTENANCE:
 ESTABLISH SOIL QUALITY AND DEPTH TOWARD THE END OF CONSTRUCTION AND ONCE ESTABLISHED, PROTECT FROM COMPACTION, SUCH AS FROM LARGE MACHINERY USE, AND FROM EROSION.
 PLANT VEGETATION AND MULCH THE AMENDED SOIL AREA AFTER INSTALLATION.
 LEAVE PLANT DEBRIS OR ITS EQUIVALENT ON THE SOIL SURFACE TO REPLENISH ORGANIC MATTER.
 REDUCE AND ADJUST, WHERE POSSIBLE, THE USE OF IRRIGATION, FERTILIZERS, HERBICIDES AND PESTICIDES, RATHER THAN CONTINUING TO IMPLEMENT FORMERLY ESTABLISHED PRACTICES.

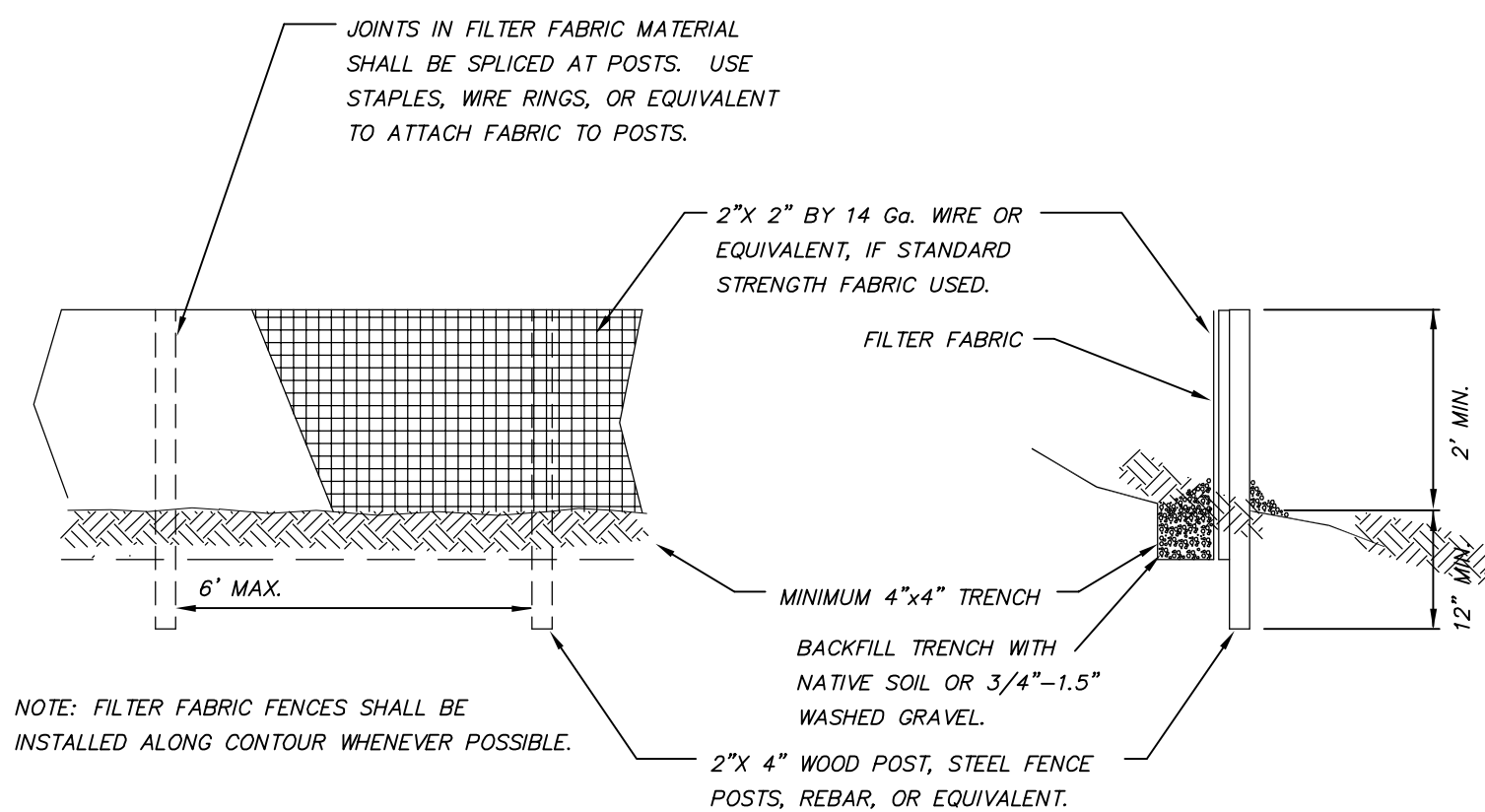
1. ANY DAMAGE SHALL BE REPAIRED IMMEDIATELY.
2. IF CONCENTRATED FLOWS ARE EVIDENT UPHILL OF THE FENCE, THEY MUST BE INTERCEPTED AND CONVEYED TO A SEDIMENT TRAP OR POND.
3. IT IS IMPORTANT TO CHECK THE UPHILL SIDE OF THE FENCE FOR SIGNS OF THE FENCE CLOGGING AND ACTING AS A BARRIER TO FLOW AND THEN CAUSING CHANNELIZATION OF FLOWS PARALLEL TO THE FENCE. IF THIS OCCURS, REPLACE THE FENCE OR REMOVE THE TRAPPED SEDIMENT.
4. SEDIMENT MUST BE REMOVED WHEN THE SEDIMENT IS 6 INCHES HIGH.
5. IF THE FILTER FABRIC (GEOTEXTILE) HAS DETERIORATED DUE TO ULTRAVIOLET BREAKDOWN, IT SHALL BE REPLACED.



NOTE: ONLY TO BE USED WHERE PONDING OF WATER ABOVE THE CATCH BASIN WILL NOT CAUSE TRAFFIC PROBLEMS AND WHERE OVERFLOW WILL NOT RESULT IN EROSION OF SLOPES.

CATCH BASIN INLET FILTER

NTS



NOTE: FILTER FABRIC FENCES SHALL BE INSTALLED ALONG CONTOUR WHENEVER POSSIBLE.

SILT FENCE DETAIL

NTS

EROSION AND SEDIMENT CONTROL NOTES:

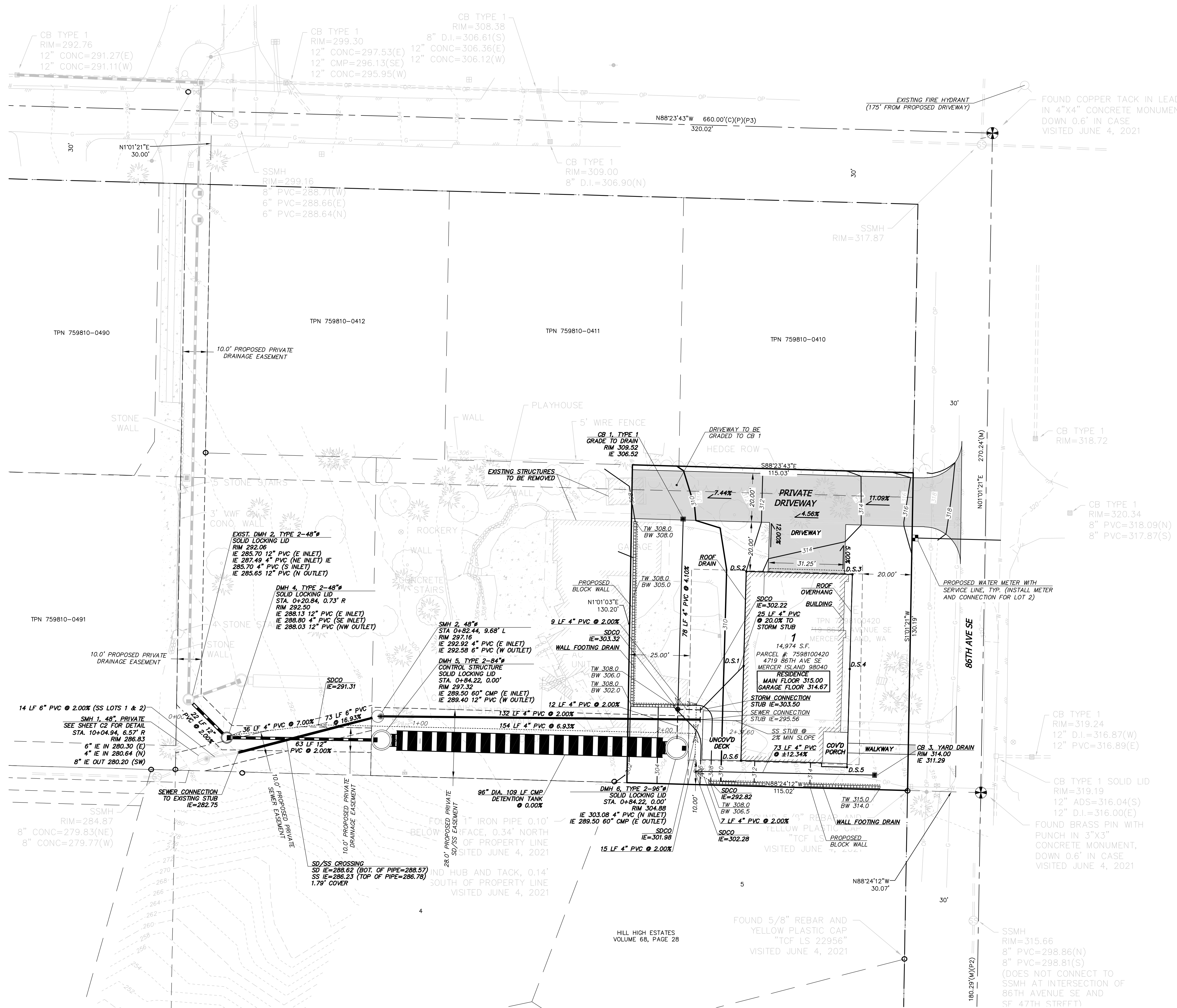
1. APPROVAL OF THIS EROSION AND SEDIMENT CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G. SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).
2. THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/ESC SUPERVISOR UNTIL ALL CONSTRUCTION IS APPROVED.
3. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED BY A CONTINUOUS LENGTH OF SURVEY TAPE (OR FENCING, IF REQUIRED) PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE CLEARING LIMITS SHALL BE PERMITTED. THE CLEARING LIMITS SHALL BE MAINTAINED BY THE APPLICANT/ESC SUPERVISOR FOR THE DURATION OF CONSTRUCTION.
4. THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED PRIOR TO OR IN CONJUNCTION WITH ALL CLEARING AND GRADING SO AS TO ENSURE THAT THE TRANSPORT OF SEDIMENT TO SURFACE WATERS, DRAINAGE SYSTEMS, AND ADJACENT PROPERTIES IS MINIMIZED.
5. THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND MODIFIED TO ACCOUNT FOR CHANGING SITE CONDITIONS (E.G. ADDITIONAL SUMP PUMPS, RELOCATION OF DITCHES AND SILT FENCES, ETC.).
6. THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE APPLICANT/ESC SUPERVISOR AND MAINTAINED TO ENSURE CONTINUED PROPER FUNCTIONING. WRITTEN RECORDS SHALL BE KEPT OF WEEKLY REVIEWS OF THE TESC FACILITIES DURING THE WET SEASON (OCT. 1 TO APRIL 30) AND OF MONTHLY REVIEWS DURING THE DRY SEASON (MAY 1 TO SEPT. 30).
7. ANY AREAS OF EXPOSED SOILS, INCLUDING ROADWAY EMBANKMENTS, THAT WILL NOT BE DISTURBED FOR TWO DAYS DURING THE WET SEASON OR SEVEN DAYS DURING THE DRY SEASON SHALL BE IMMEDIATELY STABILIZED WITH THE APPROVED ESC METHODS (E.G. SEEDING, MULCHING, PLASTIC COVERING, ETC.).
8. AT NO TIME SHALL MORE THAN ONE FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A TRAPPED CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER INTO THE DOWNSYSTEM SYSTEM. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES MAY BE REQUIRED TO INSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
9. ALL DISTURBED AREAS SHALL BE STABILIZED USING TYPICAL TESC BMP'S. THE LIMITS OF DISTURBANCE WILL BE DELINEATED WITH HIGH VISIBILITY CONSTRUCTION FENCING. DURING CONSTRUCTION SILT FENCES WILL BE PLACED DOWN SLOPE OF DISTURBED AREAS ALONG WITH STRAW MATTING, NETS, OR PLASTIC COVERING OVER EXPOSED SOIL OR STOCKPILES. TREES TO BE RETAINED WILL BE PROTECTED WITH HIGH VISIBILITY CONSTRUCTION FENCING.
10. ALL SOIL STOCKPILES TO BE COVERED WITH PLASTIC SHEETING UNTIL SUCH TIME THAT THE SOIL IS EITHER USED OR REMOVED. PILES SHOULD BE STABILIZED AND LOCATED SUCH THAT SEDIMENT DOES NOT RUN INTO THE STREET OR ONTO ADJOINING PROPERTIES.
11. ALL EXPOSED SOIL AREAS SHALL BE COVERED OR PROTECTED USING AN APPROPRIATE BMP. STABILIZE DENuded AREAS OF THE SITE BY MULCHING, SEEDING, PLANTING, OR SODDING.
12. ALL ADJACENT PROPERTIES SHALL BE PROTECTED FROM SEDIMENT DEPOSITION BY APPROPRIATE USE OF VEGETATION BUFFER STRIPS, SEDIMENT BARRIERS, OR FILTERS, DIKES, MULCHING, OR BY A COMBINATION OF THESE MEASURES AND OTHER APPROPRIATE BMP'S.
13. PROVIDE FOR PERIODIC STREET CLEANING TO REMOVE ANY SEDIMENT THAT MAY HAVE BEEN TRACKED OFF-SITE. SEDIMENT SHOULD BE REMOVED BY SHOVELING OR SWEEPING AND CAREFULLY REMOVED TO A SUITABLE DISPOSAL AREA WHERE IT WILL NOT BE RE-ERODED.
14. ALL INSTALLED EROSION AND SEDIMENT CONTROL BMP'S SHALL BE INSPECTED REGULARLY BY THE GENERAL CONTRACTOR ESPECIALLY AFTER ANY LARGE STORM. MAINTENANCE, INCLUDING REMOVAL AND PROPER DISPOSAL OF SEDIMENT SHOULD BE A NECESSARY TO INSURE THAT SEDIMENT AND EROSION IS CONTROLLED ON SITE.

APR	MAJ
REVISION	PER AGENCY COMMENTS
DATE	03.28.24

DRAFTED BY: JSE
 DESIGNED BY: JSE
 PROJECT ENGINEER: MAJ
 DATE: 10.18.23
 PROJECT NO.: 21071

DRAWING: C2
 SHEET: 2 OF 5

LORENZINI SFR LOT 1



- GENERAL NOTES:**
- SITE PLAN PROVIDED BY CLIENT ON AUGUST 22, 2022.
 - WALL/ FOOTING/ LAWN UNDERDRAIN DRAINAGE SYSTEM AND ROOF DOWNSPOUT SYSTEM SHALL NOT BE INTERCONNECTED UNLESS SUCH CONNECTION IS MADE AT LEAST ONE FOOT BELOW THE WALL/FOOTING/ UNDERDRAIN DRAINAGE SYSTEM AND DOWN SLOPE OF THE WALL/BUILDING FOUNDATION AND DOWNSTREAM OF THE DETENTION TANK.
 - EXISTING UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES SHOWN, OR NOT SHOWN IN THEIR PROPER LOCATION.
 - CONTRACTOR SHALL POT-HOLE LOCATION OF EXISTING UTILITIES TO BE RECONNECTED PRIOR TO BEGINNING CONSTRUCTION. NOTIFY ENGINEER OF ANY CONFLICTS.
 - CONTRACTOR TO VERIFY CONDITION AND GOOD WORKING ORDER OF ALL EXISTING UTILITIES TO BE RECONNECTED OR RE-USED PRIOR TO START OF CONSTRUCTION.
 - SOILS ON THE SITE CONSISTS OF KITSAP SILT LOAM (KpB) PER THE NRCS WEB SOIL SURVEY.
 - ROOF DRAINS SHALL BE 4" OR 6" PVC AS SHOWN AND HAVE A MINIMUM SLOPE OF 2.00%.
 - ALWAYS CALL 811 TWO WORKING DAYS BEFORE YOU DIG.

LAWN AND LANDSCAPE AREA NOTE:
THE LAWN AND LANDSCAPE AREAS ARE REQUIRED TO PROVIDE POST-CONSTRUCTION SOIL QUALITY AND DEPTH IN ACCORDANCE WITH BMP 75.13. THE PROJECT CIVIL ENGINEER MUST PROVIDE A LETTER OF CERTIFICATION TO ENSURE THAT THE LAWN AND LANDSCAPE AREAS ARE MEETING THE POST-CONSTRUCTION SOIL QUALITY AND DEPTH REQUIREMENTS SPECIFIED ON THE APPROVED PLAN SET PRIOR TO FINAL INSPECTION OF THE PROJECT.

SOIL AMENDMENT NOTE:
AREA (A) ENCOMPASSES THE ENTIRE SITE OUTSIDE OF HARD SURFACES. SEE LANDSCAPE PLANS FOR TURF AND PLANTING BED AREAS. STOCKPILE SITE DUFF AND TOPSOIL FOR ALL DISTURBED PERVIOUS AREAS AND REAPPLY WITH SOIL AMENDMENT AFTER GRADING AND CONSTRUCTION. MINIMUM SCARIFICATION DEPTH 8-INCHES. PROVIDE A TOTAL OF 241 C.Y. OF AMENDMENT FOR AN AREA OF 9,770 S.F. (AREAS FOR TURF AND PLANTING BEDS TO BE DETERMINED)

AREA BREAKDOWN:
LOT SIZE: 14,974 S.F. (0.344 AC.)

EX. HARD SURFACES ON LOT: 5,047 S.F.

NEW HARD SURFACES ON LOT:

MAIN HOUSE ROOF:	2,890 S.F.
DRIVEWAY:	3,384 S.F.
WALKS & PATIOS:	498 S.F.
TOTAL NEW ON LOT:	6,772 S.F. (45.2%)

NEW HARD SURFACES: 6,772 S.F.
LOT PERVIOUS: 8,202 S.F.

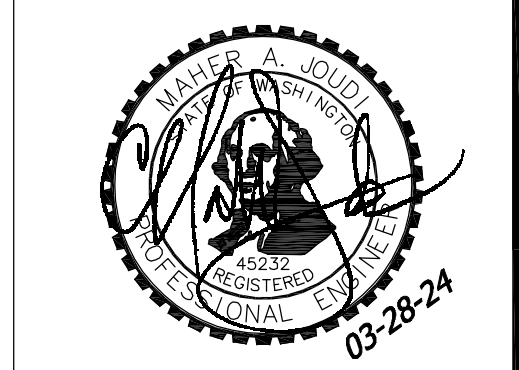
OFFSITE DRIVEWAY: 493 S.F.
TOTAL PROJECT HARD SURFACES: 7,265 S.F.
TOTAL P.G.H.S.: 4,375 S.F.

DOWNSPOUT ELEVATIONS

DOWNSPOUT #	INVERT ELEV.
1	308.50
2	309.28
3	310.16
4	310.94
5	310.16
6	309.28

LORENZINI SFR LOT 1
GRADING & UTILITIES PLAN
4719 86TH AVE SE
MERCER ISLAND
WASHINGTON 98040
PARCEL NO. 7598100421

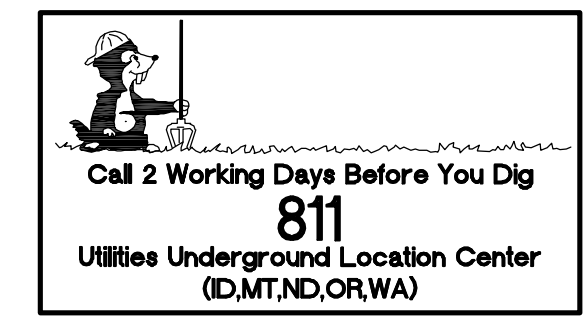
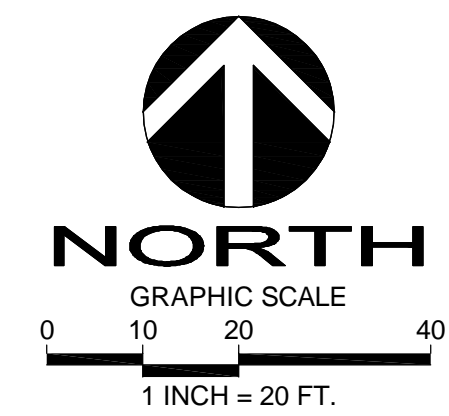
TODD SHERMAN
DESIGN BUILT HOMES
11400 SE 8TH STREET, SUITE 415
BELLEVUE, WASHINGTON 98004
206-909-8187



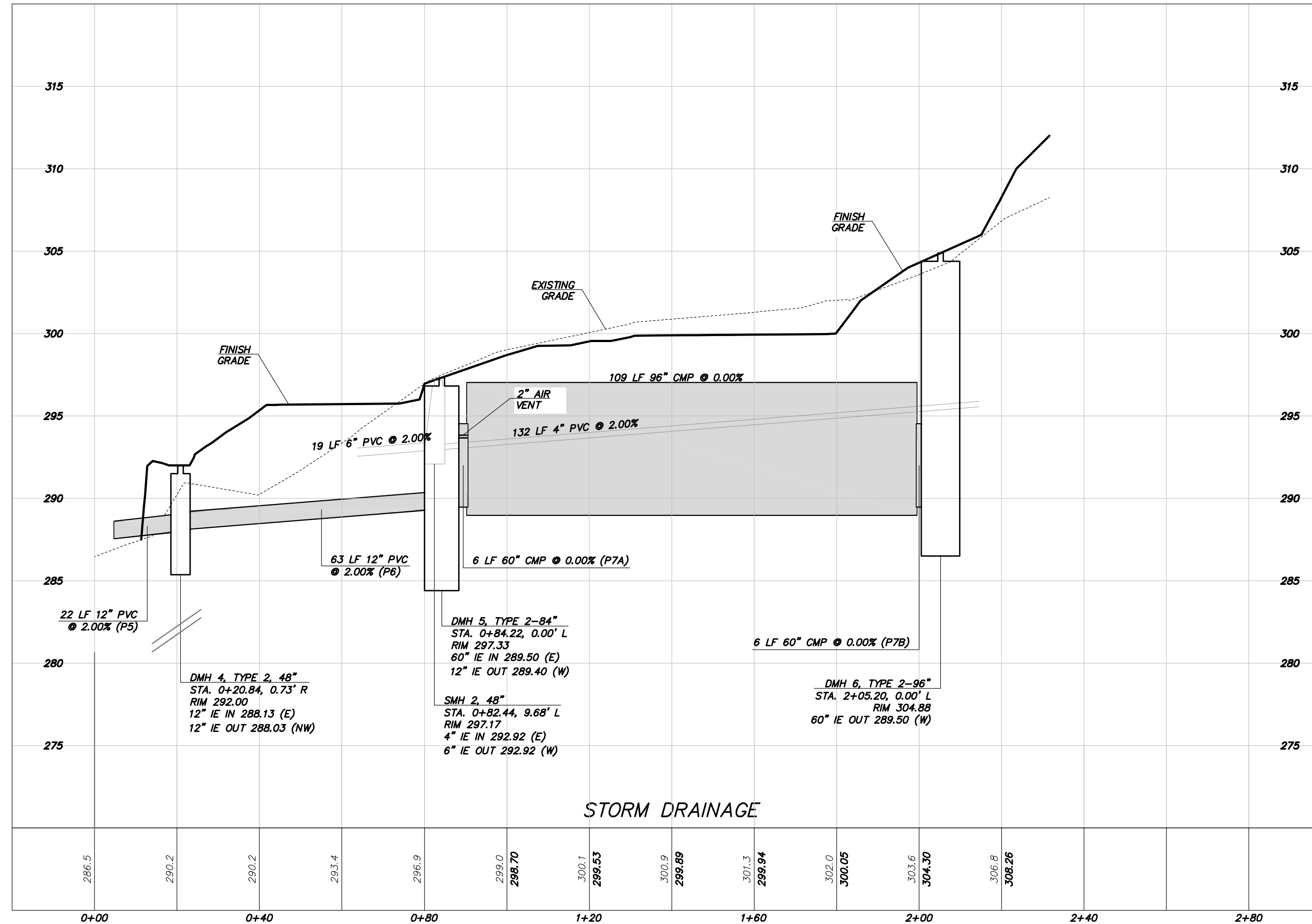
DATE	REVISION	PER AGENCY COMMENTS
03.28.24	APR MAJ	

DRAFTED BY: JSE
DESIGNED BY: JSE
PROJECT ENGINEER: MAJ
DATE: 10.18.23
PROJECT NO.: 21071

DRAWING: **C3**
SHEET: **3** OF **5**



LORENZINI SFR LOT 1



ATTACHMENT 1 CITY OF MERCER ISLAND ON-SITE DETENTION SYSTEM WORKSHEET (FOR NEW PLUS REPLACED IMPERVIOUS AREA OF 9,500 SF OR LESS)

PLAN VIEW

SECTION A-A

ELBOW RESTRICTOR DETAIL

2" MIN. CLEARANCE TO ANY PORTION OF PROP-1 INCL. ELBOWS

REMOVABLE WATER-TIGHT COUPLING OR FLANGE

ELBOW RESTRICTOR SEE DETAIL

PLATE WELDED TO ELBOW WITH ORIFICE AS SPECIFIED

OWNER: _____ ADDRESS: _____ PREPARED BY: _____

PERMIT #: _____ PHONE: _____

DATE: _____

NEW PLUS REPLACED IMPERVIOUS SURFACE AREA (SQ. FT.): _____ DETENTION PIPE DIA. (INCH): _____ DETENTION PIPE LENGTH (FT.): _____ ORIFICE #1 DIA. INCH, ELEV. _____

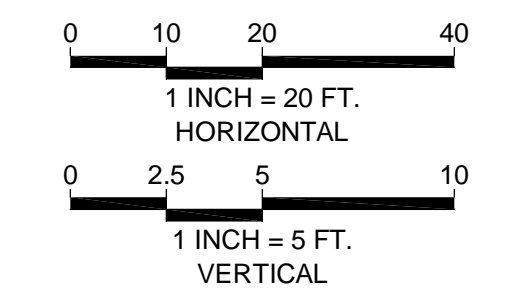
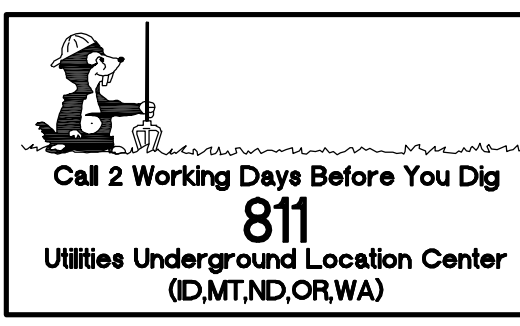
SOIL TYPE: _____ PIPE MATERIAL: _____ ORIFICE #2 DIA. INCH, ELEV. _____

CONTROL STRUCTURE NOTES

- USE A MINIMUM OF A 54 IN. DIAM. TYPE 2 CATCH BASIN. THE ACTUAL SIZE IS DEPENDENT ON CONNECTING PIPE MATERIAL AND DIAMETER.
- OUTLET PIPE: MIN. 6 INCH.
- METAL PARTS: CORROSION RESISTANT. NON-GALVANIZED PARTS PREFERRED. GALVANIZED PIPE PARTS TO HAVE ASPHALT TREATMENT 1.
- FRAME AND LADDER OR STEPS OFFSET 50.
- CLEANOUT GATE IS VISIBLE FROM TOP:
 - A. CLEAN-UP SPACE IS CLEAR OF RISER AND CLEANOUT GATE.
 - B. FRAME IS CLEAR OF CURB.
- F. METAL OUTLET PIPE CONNECTS TO CONCRETE CONCRETE PIPE, OUTLET PIPE TO HAVE SMOOTH O.D. EQUAL TO CONCRETE PIPE I.D. LESS 1/4 IN.

ON-SITE DETENTION SYSTEM NOTES

- CALL DEVELOPMENT SERVICES (206-275-7850) 24 HOURS IN ADVANCE FOR A DETENTION SYSTEM INSPECTION BEFORE BACKFILLING AND FOR FINAL INSPECTIONS.
- RESPONSIBILITY FOR OPERATION AND MAINTENANCE OF DRAINAGE SYSTEMS ON PRIVATE PROPERTY IS RESPONSIBILITY OF THE PROPERTY OWNER. MATERIAL ACCUMULATED IN THE STORAGE PIPE MUST BE REMOVED FROM CATCH BASINS TO ALLOW PROPER OPERATION. THE OUTLET CONTROL ORIFICE MUST BE KEPT OPEN AT ALL TIMES.
- PIPE MATERIAL, JOINT AND PROTECTIVE TREATMENT SHALL BE IN ACCORDANCE WITH SECTION 7.04 AND 9.03 OF THE WEDOT STANDARD SPECIFICATION FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION. LATEST REVISION SUCH MATERIALS INCLUDE THE FOLLOWING: LINED CORRUGATED POLYETHYLENE PIPE (LCP), ALUMINUM TYPE 2 CORRUGATED STEEL PIPE AND PIPE ARCH (MEETS MSHTD DESIGNATIONS M24 AND M36), CORRUGATED OR SPIRAL RIB ALUMINUM PIPE OR REINFORCED CONCRETE PIPE. CORRUGATED STEEL PIPE IS NOT ALLOWED.
- FOUNDINGS SHALL NOT BE CONNECTED TO THE DETENTION SYSTEM.



D.R. STRONG
CONSULTING ENGINEERS
ENGINEERS PLANNERS SURVEYORS
620 - 7th AVENUE KIRKLAND, WA 98033
O 425.827.3063 F 425.827.2423

LORENZINI SFR LOT 1

STORM PROFILE & DETAILS
4719 86TH AVE SE
MERCER ISLAND
WASHINGTON 98040
PARCEL NO. 7598100421

TODD SHERMAN
DESIGN BUILT HOMES

11400 SE 8TH STREET, SUITE 415
BELLEVUE, WASHINGTON 98004
206-909-8187

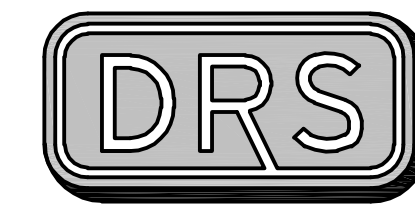


DATE	REVISION	PER AGENCY COMMENTS
03.28.24	APR MAJ	

DRAFTED BY: JSE
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DATE: 10.18.23
PROJECT NO.: 21071

DRAWING: C4
SHEET: 4 OF 5

NE 1/4 SECTION 18, TOWNSHIP 24 N, RANGE 5 E, W.M.
LORENZINI SFR LOT 1



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LORENZINI SFR LOT 1

TREE PLAN
 4719 86TH AVE SE
 MERCER ISLAND
 WASHINGTON 98040
 PARCEL NO. 7598100421

TODD SHERMAN
 DESIGN BUILT HOMES

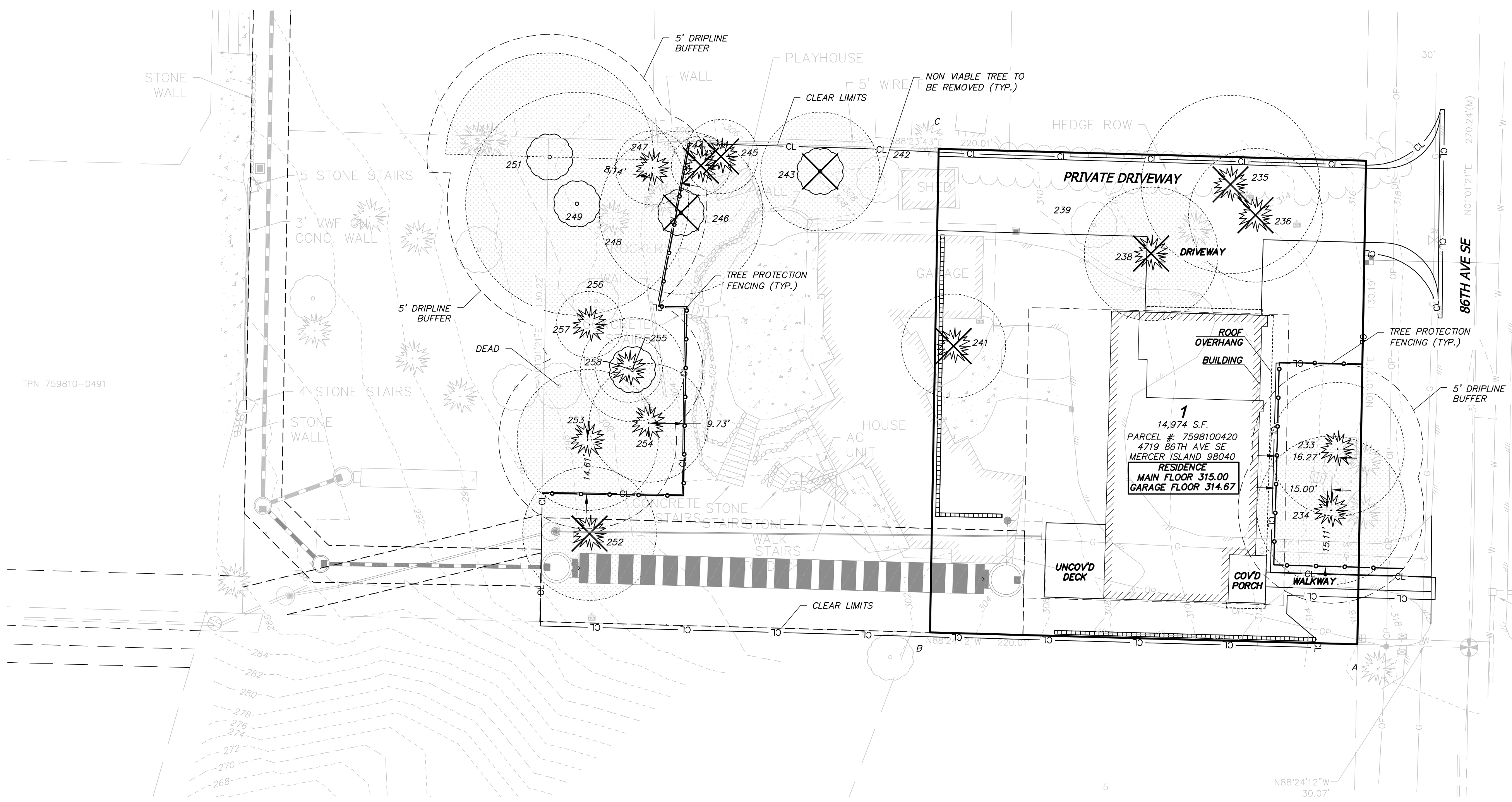
11400 SE 8TH STREET, SUITE 415
 BELLEVUE, WASHINGTON 98004
 206-908-8187



APR MAJ
 REVISION PER AGENCY COMMENTS
 DATE 03.28.24

DRAFTED BY: JSE
 DESIGNED BY: JSE
 PROJECT ENGINEER: MAJ
 DATE: 10.18.23
 PROJECT NO.: 21071

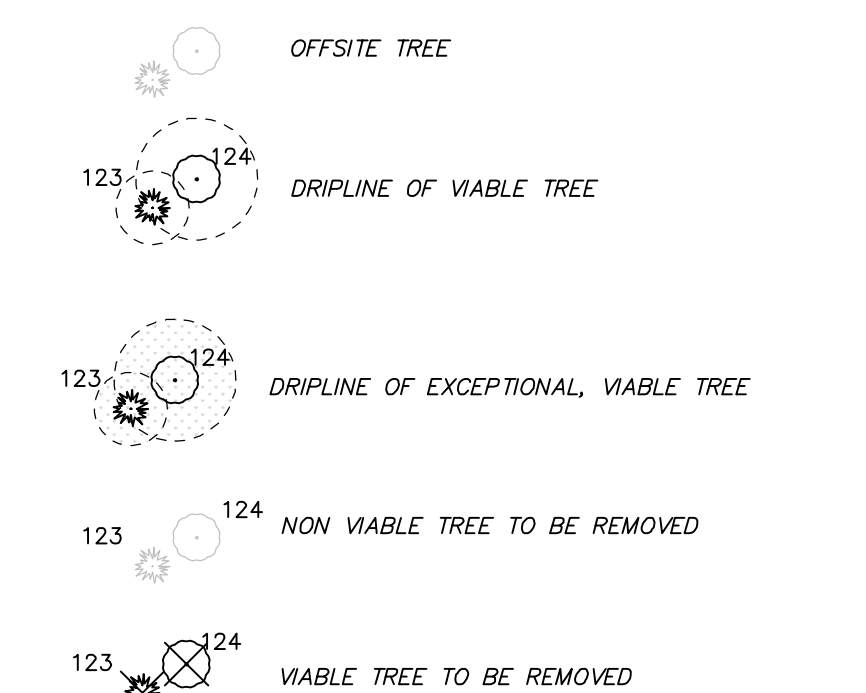
DRAWING: C5
 SHEET: 5 OF 5



TPN 759810-0491

TREE RETENTION CALCULATION

TOTAL ONSITE TREES:	24
TOTAL VIABLE ONSITE TREES:	19
TOTAL NUMBER OF EXCEPTIONAL TREES:	11
REQUIRED TREE CREDITS: 30% X 24 TREES:	8
PROPOSED VIABLE TREES RETAINED:	10/52.6%



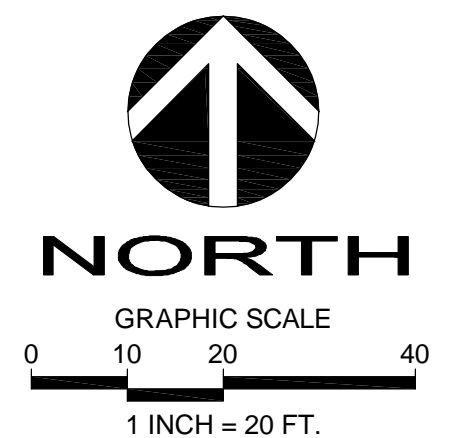
CLEARING LIMIT NOTE
 CLEARING LIMITS AND TREE PROTECTION FENCING ALONG WEST SIDE OF LOT 2 ARE TO BE COINCIDENTAL. SPACE SHOWN FOR CLARITY OF LINETYPES ONLY.

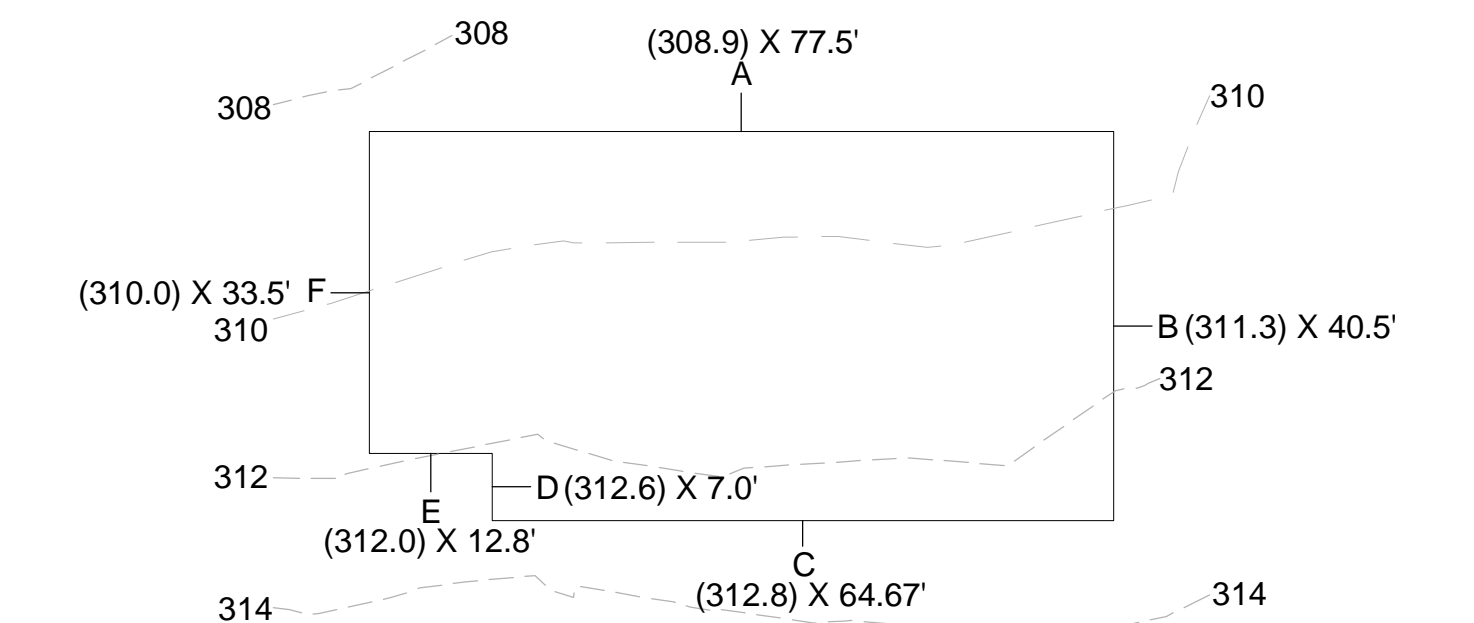
TREE RETENTION NOTE
 ANY CONSTRUCTION WITHIN THE DRIPLINE OF A TREE TO BE RETAINED WILL REQUIRE AN AIR EXCAVATION ANALYSIS TO DETERMINE THAT THE TREE WILL NOT BE DAMAGED DURING CONSTRUCTION.

TREE REPLACEMENT TABLE

DIAMETER OF REMOVED TREE (MEASURES 4.5 FEET ABOVE GROUND)	TREE REPLACEMENT RATIO	NUMBER OF TREES PROPOSED FOR REMOVAL	NUMBER OF TREES REQUIRED FOR REPLACEMENT BASED ON SIZE/TYPE
LESS THAN 10-INCHES AND NON-VIABLE TREES	1	0	0
10-INCHES UP TO 24-INCHES	2	3	6
GREATER THAN 24-INCHES UP TO 36-INCHES	3	2	6
GREATER THAN 36-INCHES AND ANY EXCEPTIONAL TREE	6	4	24
TOTAL REQUIRED TREE REPLACEMENT:			36 REQUIRED

Tree #	Species ID	DBH (in)	Adj. DBH (in)	Drip-line radius (ft)	Wind firm	OK in Grove	Health	Defects/Comments	Proposed Action		CRZ/TPZ/LOD				Value	Healthy Trees	Retained Trees	Replacement
									Ret.	Remove	Radius in feet							
											N	W	E	S				
1	233	Douglas fir	21	21	18		OK	Typical of species	1		18	16	18	18	N	1	1	1
2	234	Douglas fir	28	28	20		OK	Self-corrected lean towards west, dead wood, broken branches, dead twigs, typical of species	1		20	15	20	15	Y	1	1	1
3	235	Douglas fir	22	22	24		OK	Debris over crown, previous top loss, coning, dead wood, broken branches, typical of species		1	24	24	24	24	N	1	1	2
4	236	Douglas fir	19	19	18		OK	Previous ivy @ root crown up to 50', typical of species, asymmetric canopy towards north		1	18	18	18	18	N	1	1	2
5	237	Douglas fir	19	19	16		Fair	Self-corrected lean towards north, serpentine trunk, co-dominant leaders with included bark x2 @ 30' towards north, strong leader, reaction wood, horizontal crack @ 25', column of decay @ root crown up to 12' towards west, 3 calloused wounds towards west, free flowing sap		1	16	16	16	16	N	1		
6	238	Douglas fir	24	24	18		Fair	Exposed roots, moss and lichen, previous top loss, dead wood, broken branches, elongated branches		1	18	18	18	18	Y	1	1	3
7	239	Bigleaf maple	38	38	38		Fair	Calloused wound @ 6' towards south, exposed roots, decay in roots towards north, dead wood, broken branches, grade lowered 3' towards east		1	38	38	38	38	Y	1		
8	241	Scots pine	13	13	14		OK	Typical of species		1	14	14	14	14	N	1	1	2
9	242	Bigleaf maple	16	16	14		Fair	Vertical crack @ 3' up to 10' towards south, co-dominant leaders with included bark x2 @ 10'		1	14	14	14	14	N	1		
10	243	Bigleaf maple	10, 8, 14, 15	24	16		OK	Co-dominant leaders with included bark x2 @ root crown, moss and lichen, typical of species		1	16	16	16	16	Y	1	1	3
11	244	White pine	15	15	8		OK	Serpentine trunk, dead wood, broken branches, typical of species		1	8	8	8	8	N	1	1	6
12	245	White pine	19	19	10		OK	Dead wood, broken branches, a towards east, typical of species		1	10	10	10	10	N	1	1	6
13	246	Bigleaf maple	17, 18	25	22		OK	Co-dominant leaders with included bark x2 @ 2', asymmetric canopy towards south, typical of species		1	22	22	22	22	Y	1	1	6
14	247	White pine	11	11	10		OK	Suppressed canopy, dead wood, broken branches, typical of species		1	10	10	10	10	N	1	1	1
15	248	Douglas fir	19	19	18		Fair	Epicormic branch formation @ 25' towards south, previous top loss, elongated branches, serpentine trunk, asymmetric canopy towards south		1	18	18	18	18	N	1		
16	249	Bigleaf maple	16, 44	47	30		Fair	Co-dominant leaders with included bark x2 @ 4', exposed roots, calloused wound, dead wood, broken branches, asymmetric canopy towards north		1	30	30	21	30	Y	1	1	1
17	251	Bigleaf maple	26	26	28 north only		OK	Asymmetric canopy towards north, typical of species, dead wood, moss and lichen		1	28	28	28	28	Y	1	1	1
18	252	Douglas fir	28	28	18		Fair	Self-corrected lean towards south, fill over crown, abnormal bark, popping bark, previous top loss, elongated branches, typical of species, dead wood, broken branches		1	18	18	18	18	Y	1	1	6
19	253	Douglas fir	36	36	19		OK	Dead wood, broken branches, previous top loss, carpenter ants bark only		1	19	19	7	19	Y	1	1	1
20	254	Douglas fir	36, 28	45.5	16		OK	Co-dominant leaders with included bark x2 @ 1', previous top loss @ 50', strong laterals, dead wood, broken branches, abnormal bark, popping bark, woodpecker activity		1	16	16	16	16	Y	1	1	1
21	255	Douglas fir	16	16	14		Fair	Abnormal bark, shedding bark, popping bark, topped @ 50', strong lateral, low live crown ratio <10%		1	14	14	14	14	N	1	1	1
22	256	Bigleaf maple	36, 24	43.5	26		Poor	Co-dominant leaders with included bark x2 @ 1', dead scaffold, dead wood, cavity @ 3' towards north		1	26	26	26	26	Y	1		
23	257	Incense cedar	8, 9	12	9		OK	Co-dominant leaders with included bark x2 @ 3', typical of species		1	9	9	9	9	N	1	1	1
24	258	Incense cedar	18	18	9		OK	Typical of species		1	9	9	9	9	N	1	1	1





ABE CALCULATION:

A	B	C	D	E	F
23,939.75	12,607.65	20,238.16	2,188.90	3,993.60	10,385.00

$(308.9)(77.5) + (311.3)(40.5) + (312.8)(64.7) + (312.7)(7) + (312.0)(12.8) + (310.0)(33.5) = 73,353.06$

$77.5 + 40.5 + 64.7 + 7 + 12.8 + 33.5 = 236$

$73,353.06 \div 236 = 310.81$ Average Building Elevation (ABE)

HARDSCAPE

- A. GROSS LOT AREA: 14,974 SF
- B. NET LOT AREA: 13,638 SF
- C. AREA BORROWED FROM LOT COVERAGE: 0 SF
- D. ALLOWED HARDSCAPE AREA+9% OF LOT AREA + C: 0 SF
- E. ALLOWED HARDSCAPE AREA: 9% OF LOT 1,227.42 SF
- F. TOTAL EXISTING HARDSCAPE AREA: 0 SF
- 1. UNCOVERED DECKS 0 SF
- 2. UNCOVERED PATIOS 456 SF
- 3. WALKWAYS 0 SF
- 4. STAIRS 0 SF
- 5. ROCKERIS AND RETAINING WALLS 0 SF
- 6. OTHER 0 SF
- 7. TOTAL EXISTING HARDSCAPE (F1+F2+F3+F4+F5+F6) 456 SF
- G. (TOTAL HARDSCAPE REMOVED): 0 SF
- H. TOTAL NEW HARDSCAPE AREA: 360 SF
- 1. UNCOVERED DECKS 0 SF
- 2. UNCOVERED PATIOS 100 SF
- 3. WALKWAYS 0 SF
- 4. STAIRS 160 SF
- 5. ROCKERIES AND RETAINING WALLS 0 SF
- 6. OTHER 0 SF
- 7. TOTAL NEW HARDSCAPE (H1+H2+H3+H4+H5+H6) 620 SF
- I. TOTAL PROJECT HARDSCAPE AREA = (F7 - G) + 7 620 SF
- J. TOTAL PROJECT HARDSCAPE AREA = (I/B)X100 4.5%

LOT COV'G

- LOT AREA (NET): 13,727 SF
- GROSS FLOOR AREA (INCL ROOF): 3,432 SF
- VEHICULAR USE AREA: 1,758 SF
- TOTAL LOT COVERAGE AREA: 5,190 SF =38.05%
- ALLOWED LOT COV'G. AREA: 5,490.8 SF =40.00%
- ALLOWED % OF LOT AREA:

GROSS FLOOR AREA

- LOT AREA (NET): 13,638 SF
- UPPER FLOOR AREA (LESS STAIR): 2,371 SF
- MAIN FLOOR AREA (INCL GARAGE): 3,049 SF
- TOTAL GROSS FLOOR AREA: 5,420 SF
- % OF LOT AREA: =39.74%
- ALLOWED LOT AREA: 5,455.2 SF
- ALLOWED % OF LOT AREA: =40.00%

FIRE AREA SUMMARY

- UPPER FLOOR AREA: 2,204 SF
- MAIN FLOOR AREA: 2,314 SF
- GARAGE FLOOR AREA: 734 SF
- UNHEATED STORAGE AREA: 0 S.F.
- COVERED AREA: 416 SF
- TOTAL FIRE AREA: 4,759 S.F.

PARCEL NUMBER

759810-0420

SITE ADDRESS

4719 86TH AVENUE SE
LARENZINI LOT 1
MERCER ISLAND, WA 98040

ZONING

- R-9.6
- MIN FRONT SETBACK: 20'
- MIN REAR SETBACK: 25'
- MIN SIDE SETBACK:
- SUM OF 15' & NO LESS THAN 5'
- MAX BLDG HEIGHT: 30'
- MAX GROSS FLOOR AREA: 40%

LOT SLOPE

- HIGHEST ELEV POINT OF LOT: 317.25
- LOWEST ELEV POINT OF LOT: 302.50
- ELEVATION DIFFERENCE: 14.75
- HORIZONTAL DISTANCE BTWN HIGH AND LOW POINTS: 172.8'
- LOT SLOPE: 7.11%

OWNER

DESIGN BUILT HOMES
TODD SHERMAN
1412-112TH AVE NE, SUITE 104
BELLEVUE, WA 98004
PH: 206 909 8187
EM: TODD@LUXURYDBH.COM

ARCHITECT

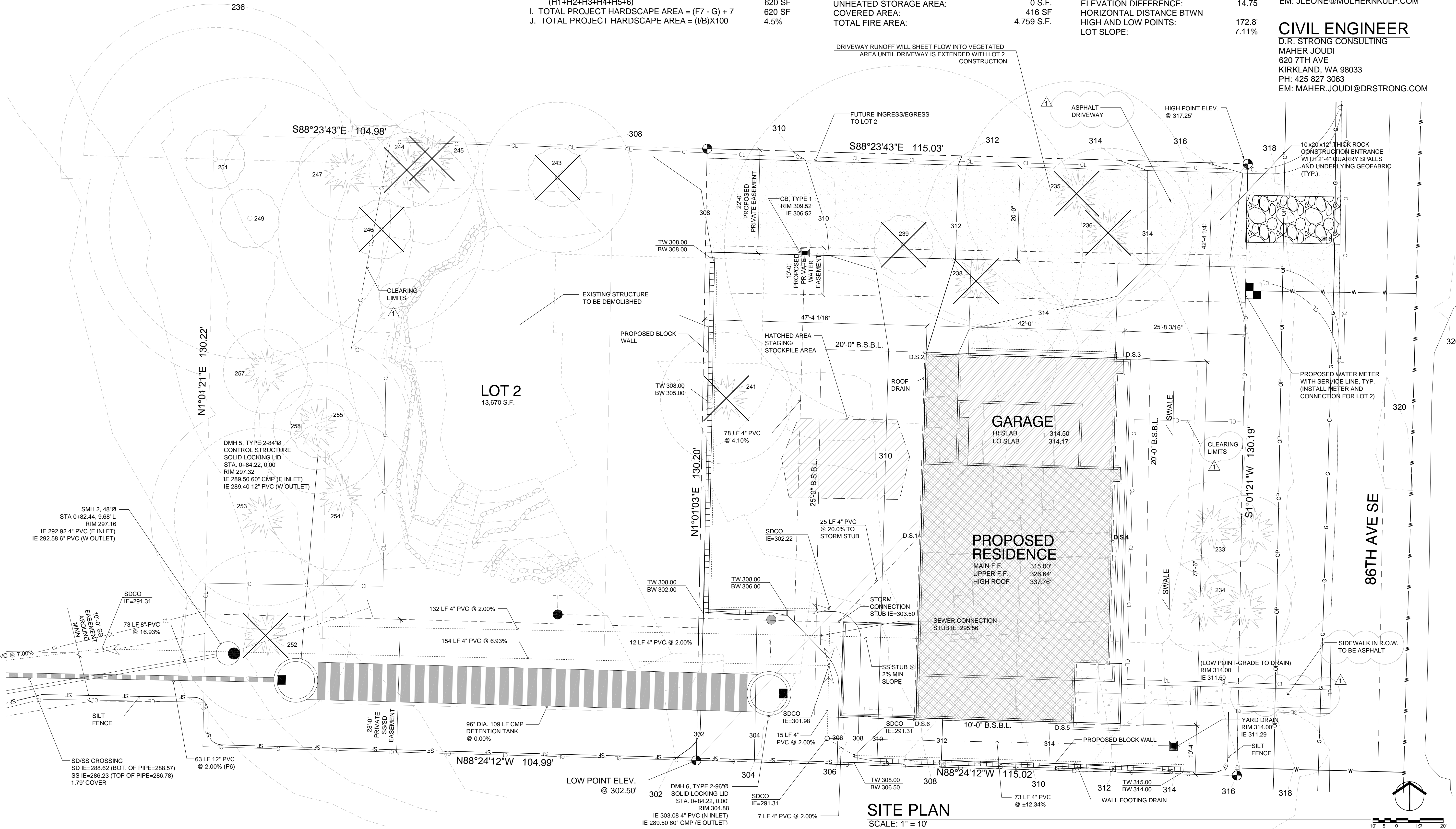
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STRUCT ENGINEER

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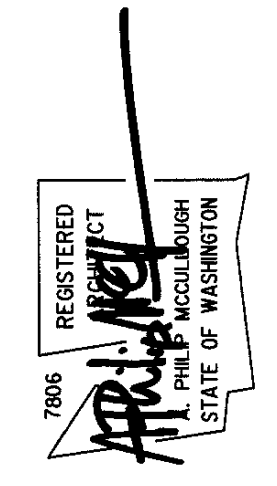
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Revisions
02.24.2024 1

Date: 11.01.2023
Job No: xx-xxx
Project No: 00000
Drawn: BAK
Approved: APM

Owner
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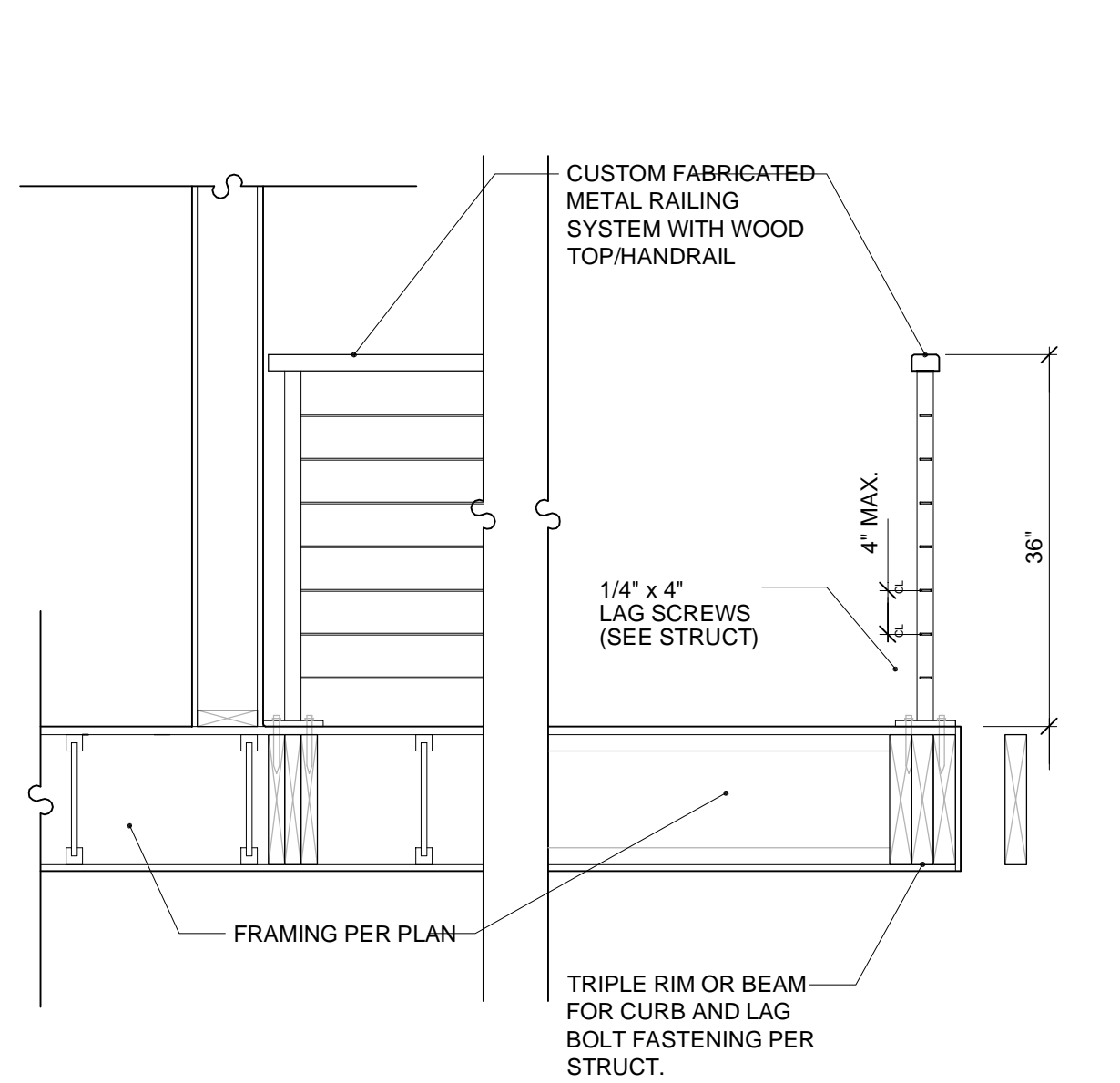
Mercer Island, Washington

Permit Documents

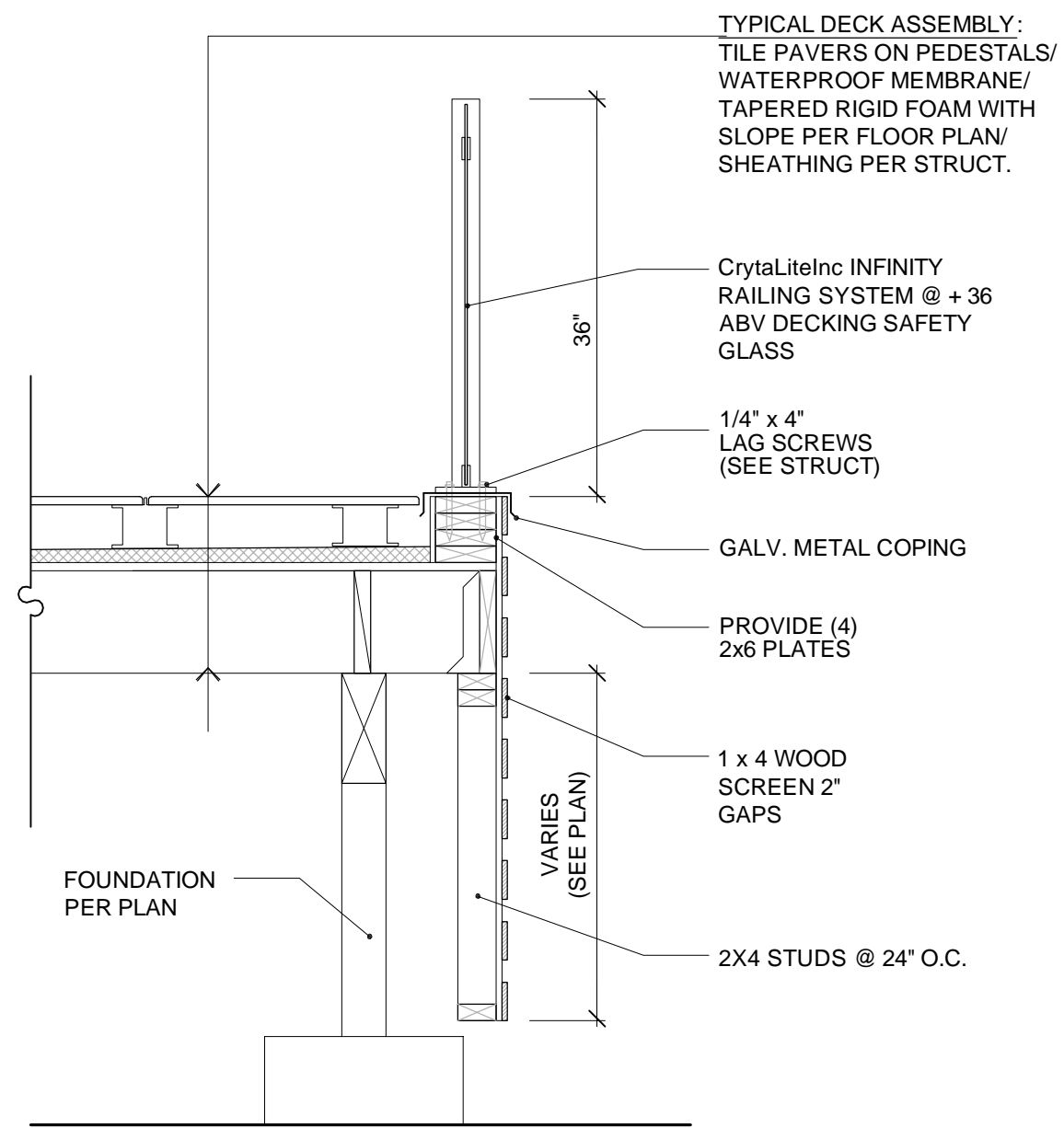
Site Plan

A1

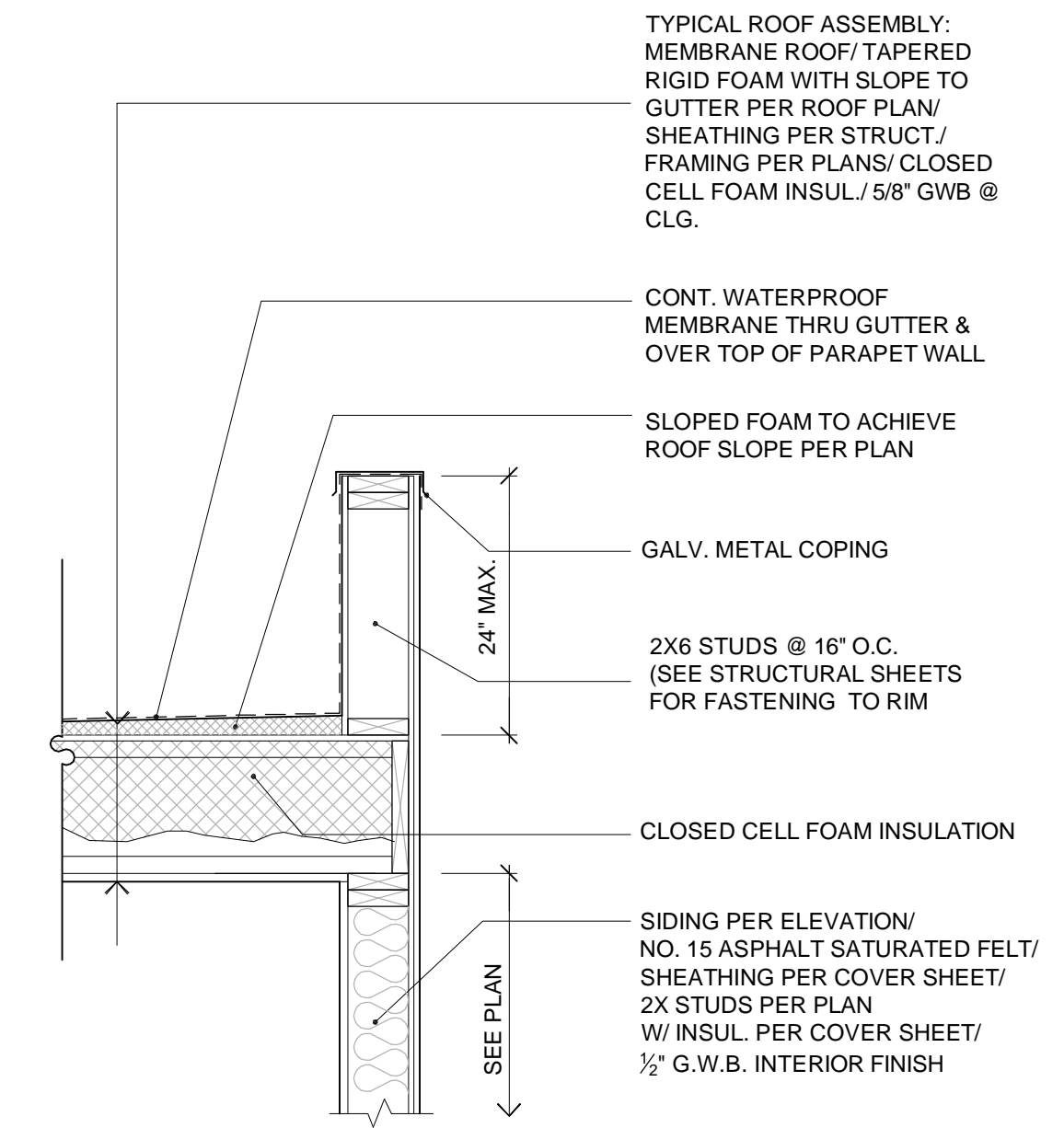
SITE PLAN
SCALE: 1" = 10'



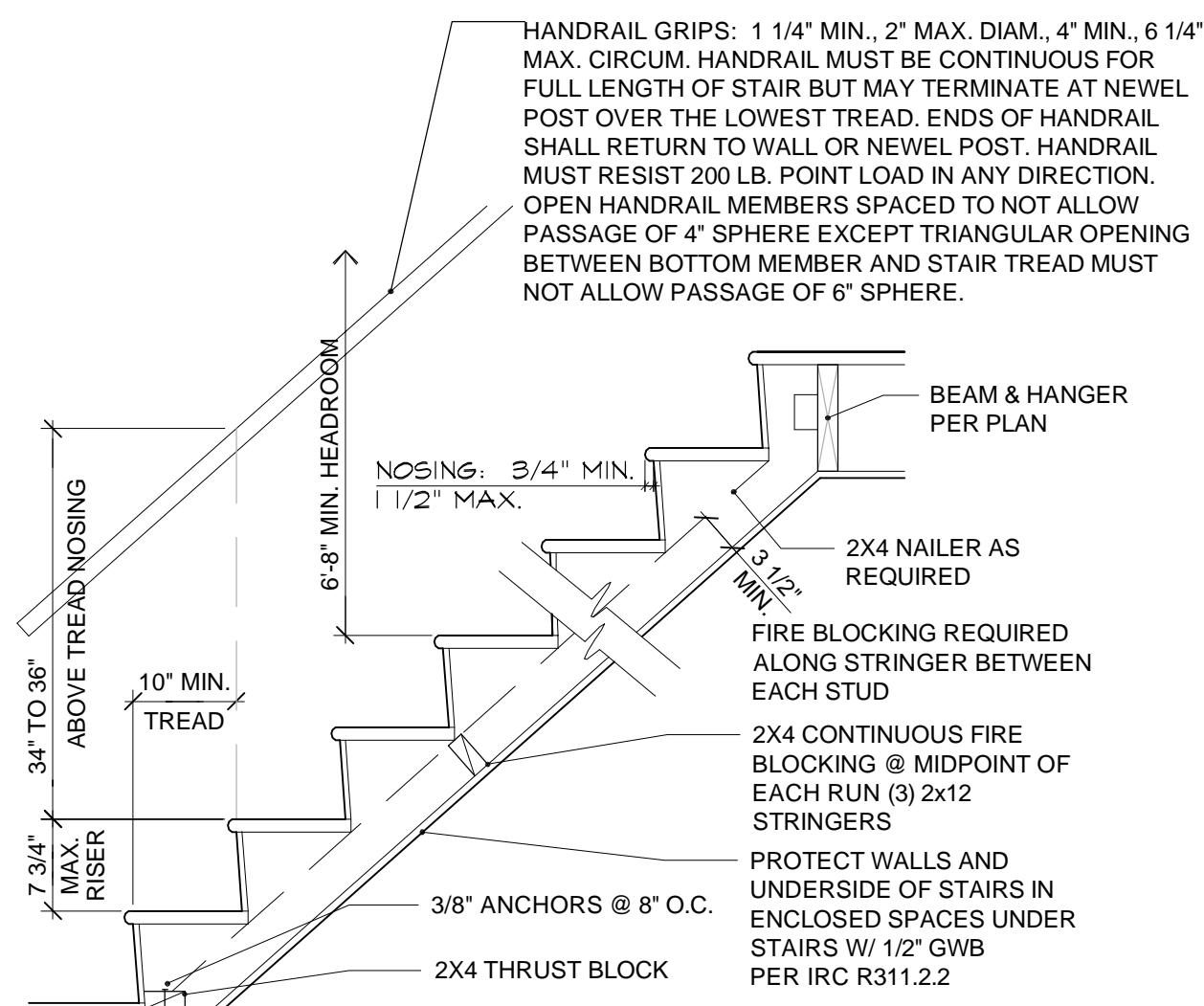
TYPICAL RAIL
SCALE: 3/4" = 1'-0"
11
A2



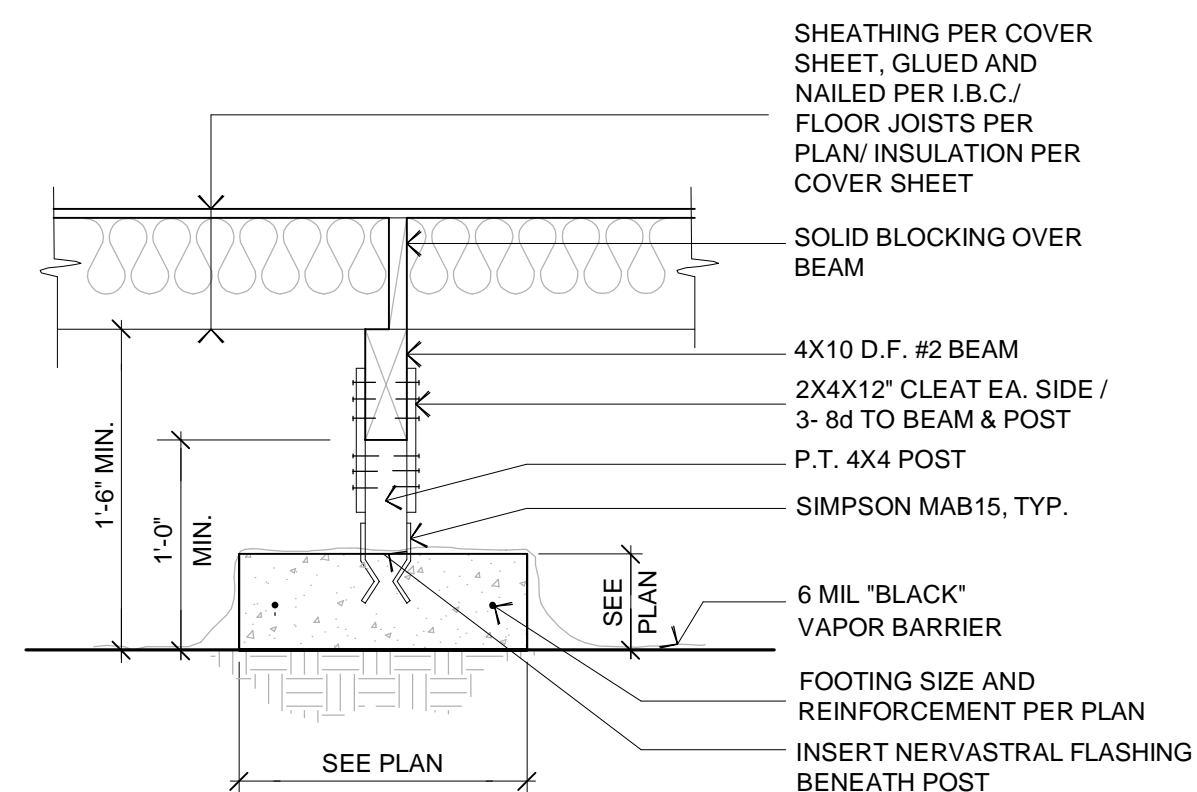
RAIL AT DECK
SCALE: 3/4" = 1'-0"
10
A2



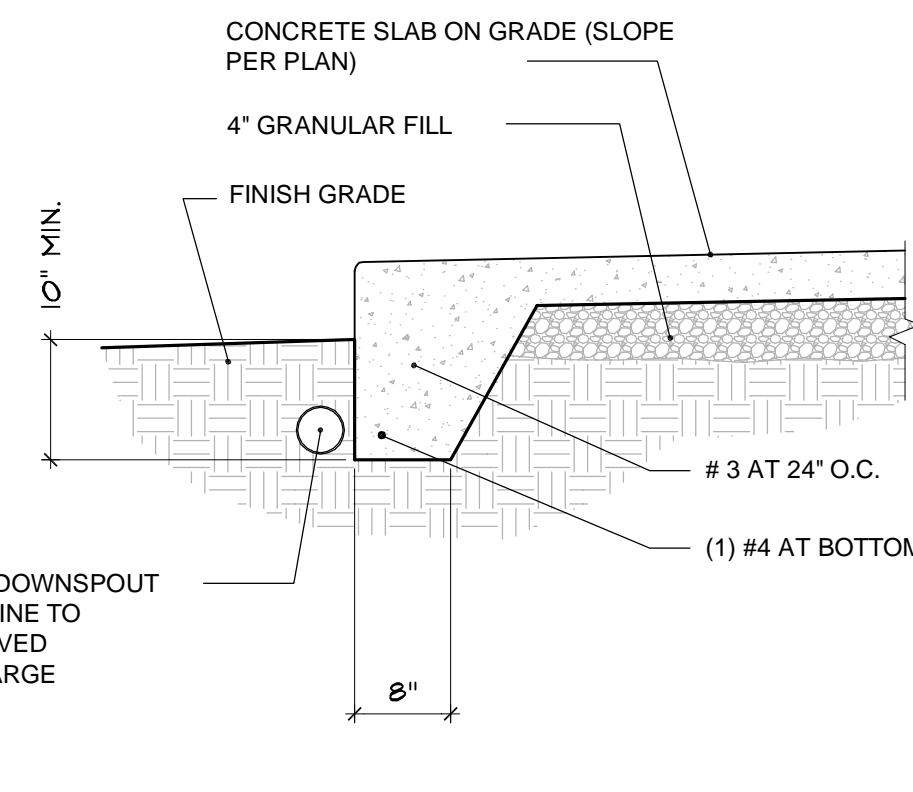
EAVE AT PARAPET
SCALE: 3/4" = 1'-0"
9
A2



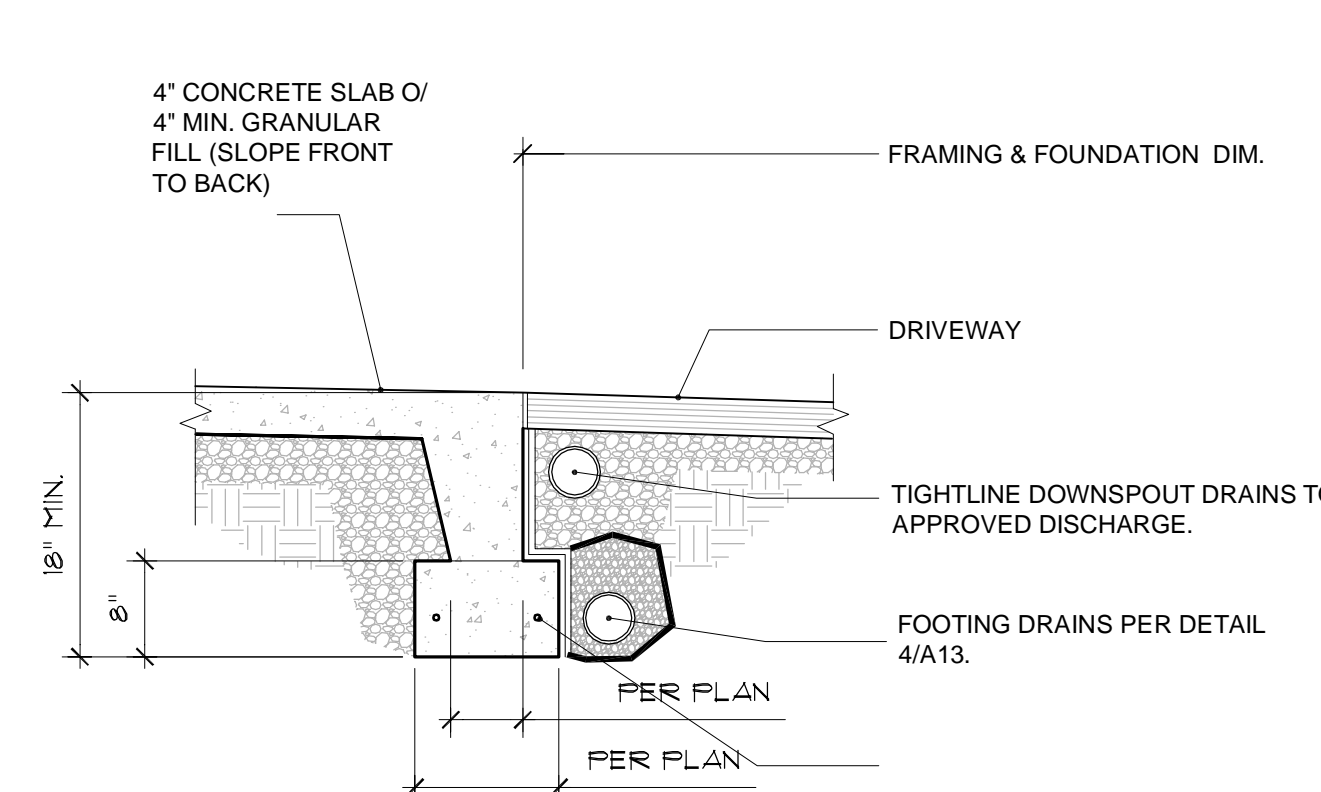
STAIR SECTION
SCALE: 3/4" = 1'-0"
8
A2



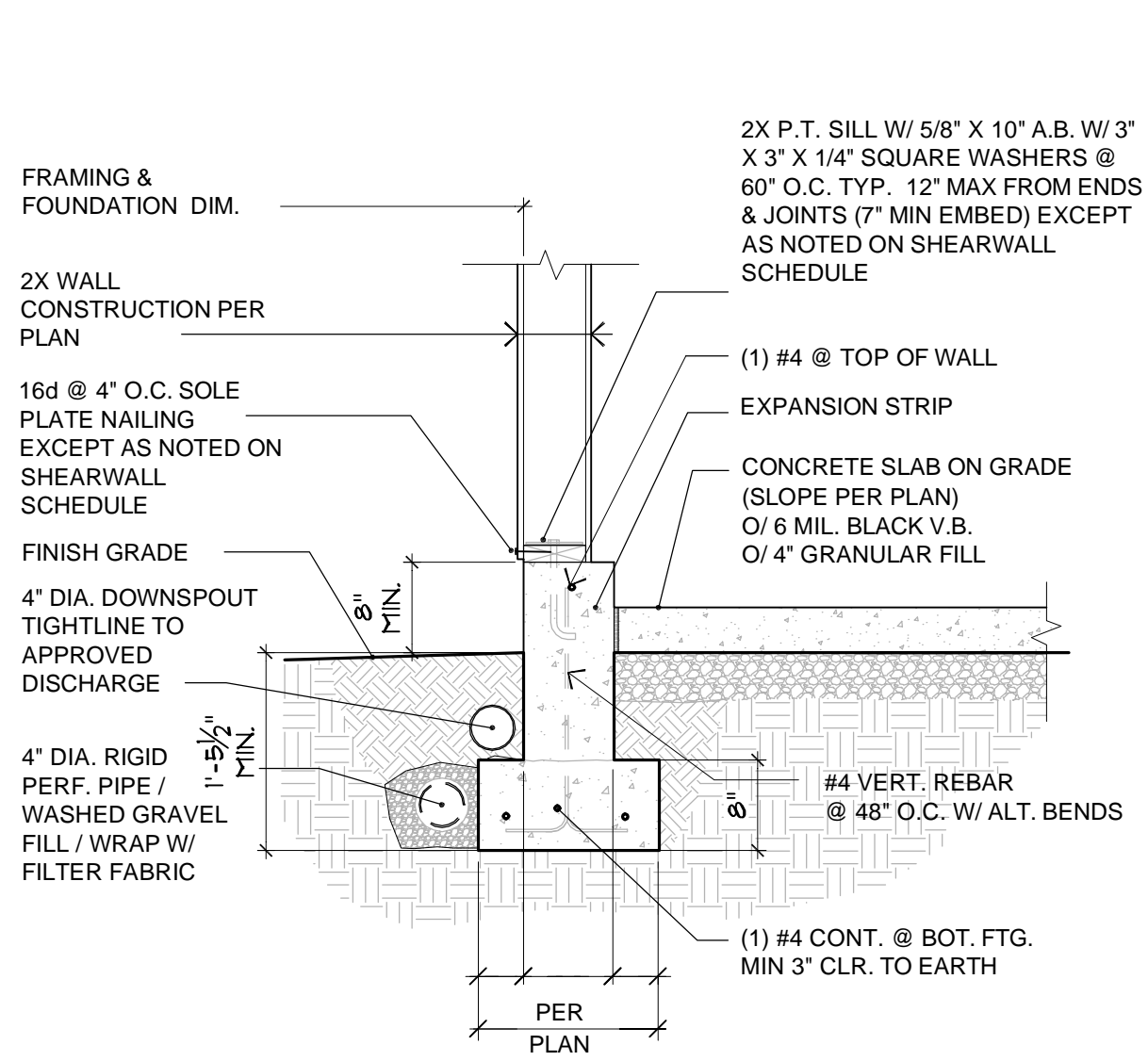
ISOLATED PAD FOOTING
SCALE: 3/4" = 1'-0"
7
A2



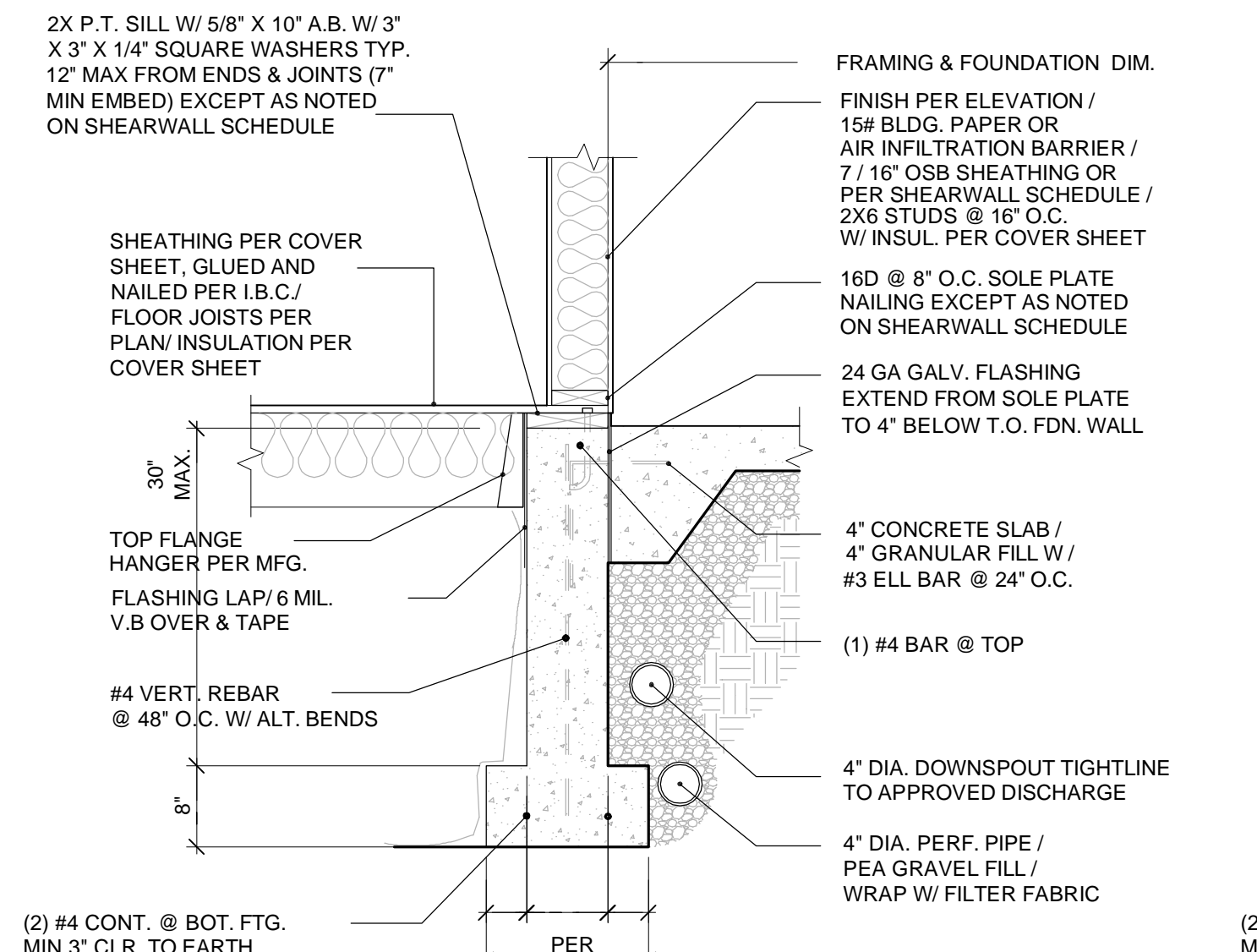
PORCH SLAB EDGE
SCALE: 3/4" = 1'-0"
6
A2



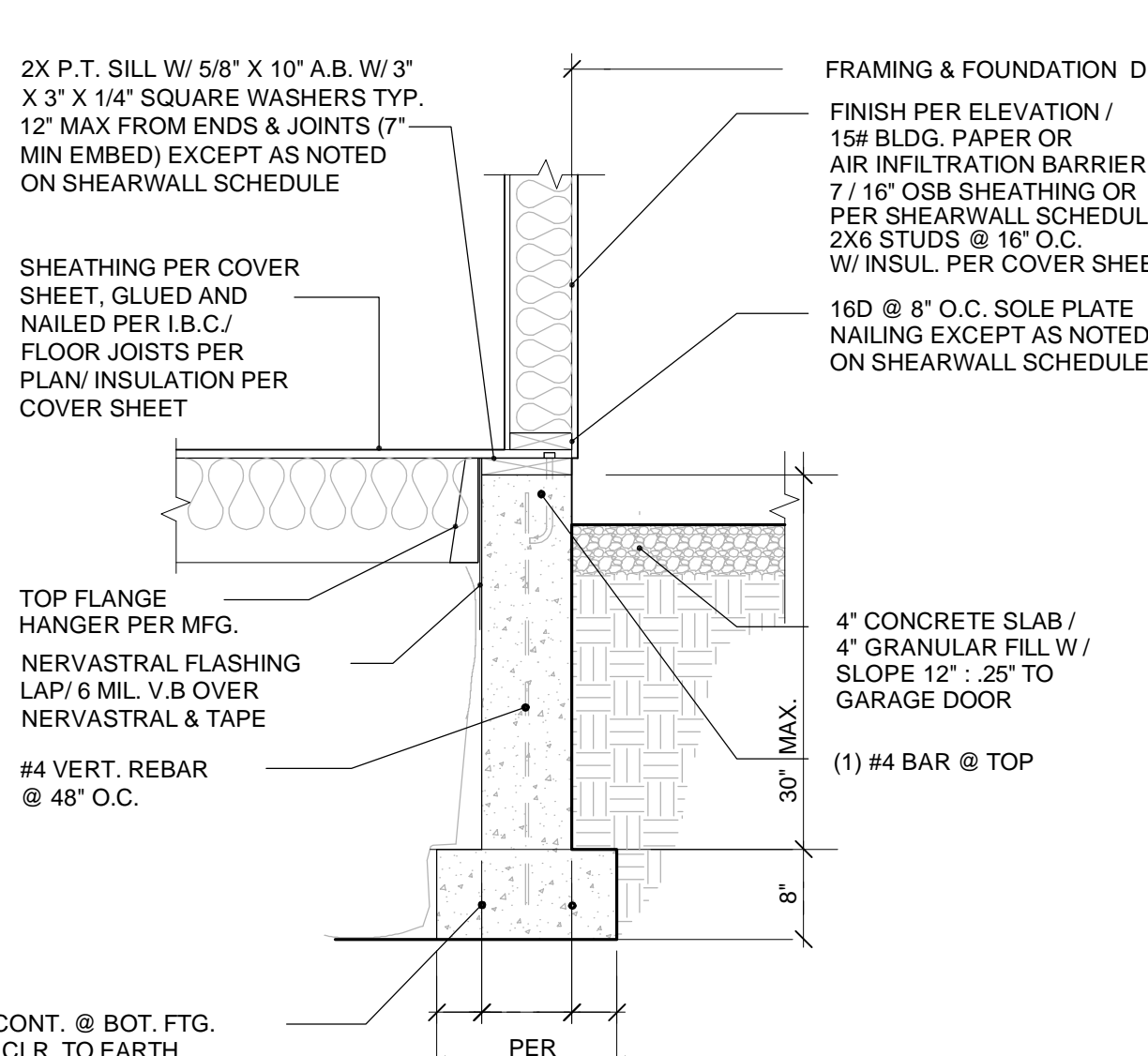
GARAGE SLAB @ DOOR
SCALE: 3/4" = 1'-0"
5
A2



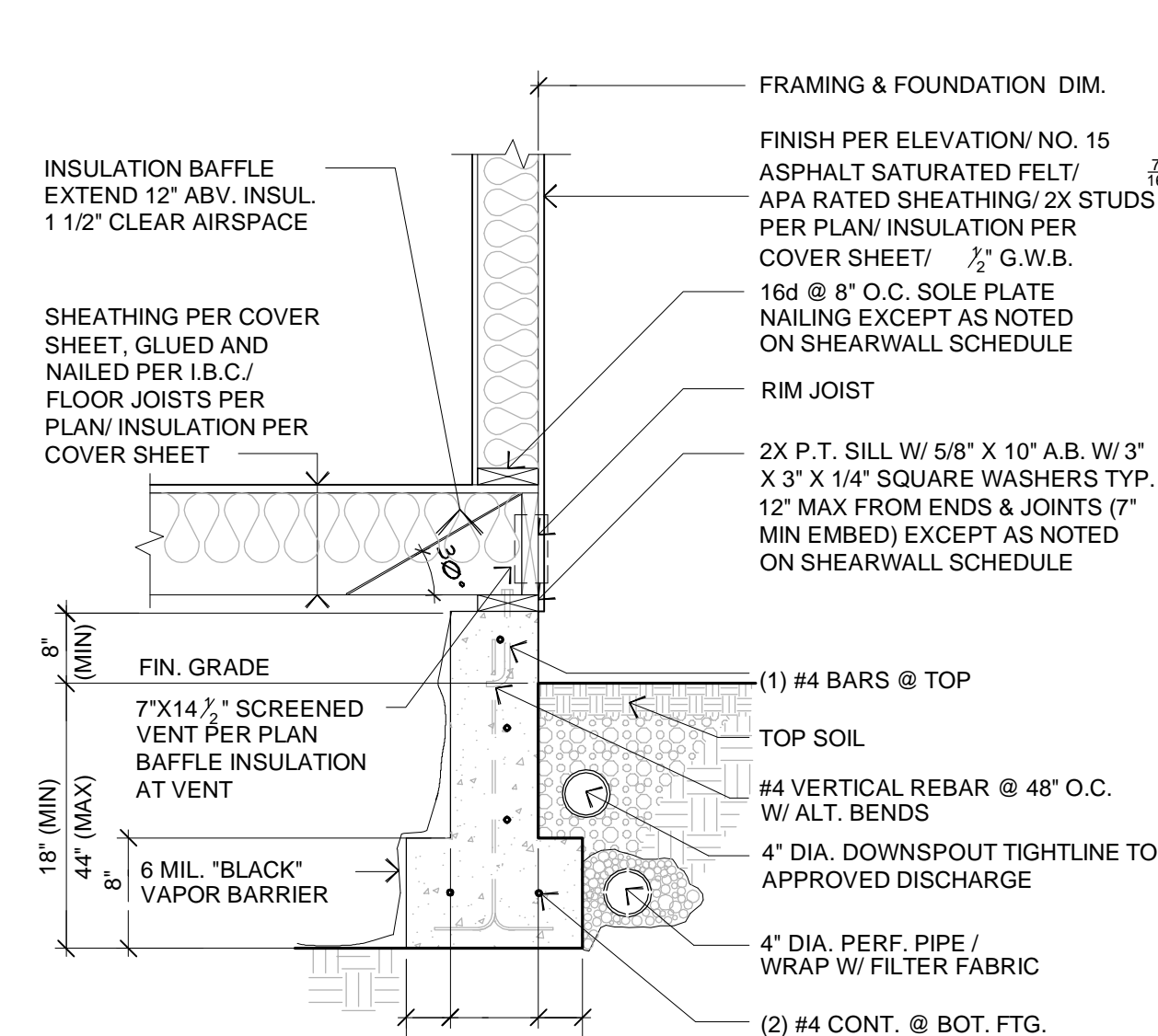
GARAGE FNDN. & SLAB
SCALE: 3/4" = 1'-0"
4
A2



PORCH / PATIO / HOUSE FNDN.
SCALE: 3/4" = 1'-0"
3
A2



HOUSE / GARAGE FNDN.
SCALE: 3/4" = 1'-0"
2
A2

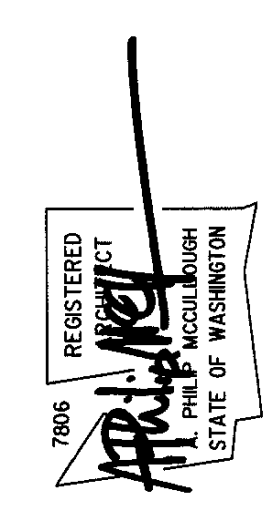


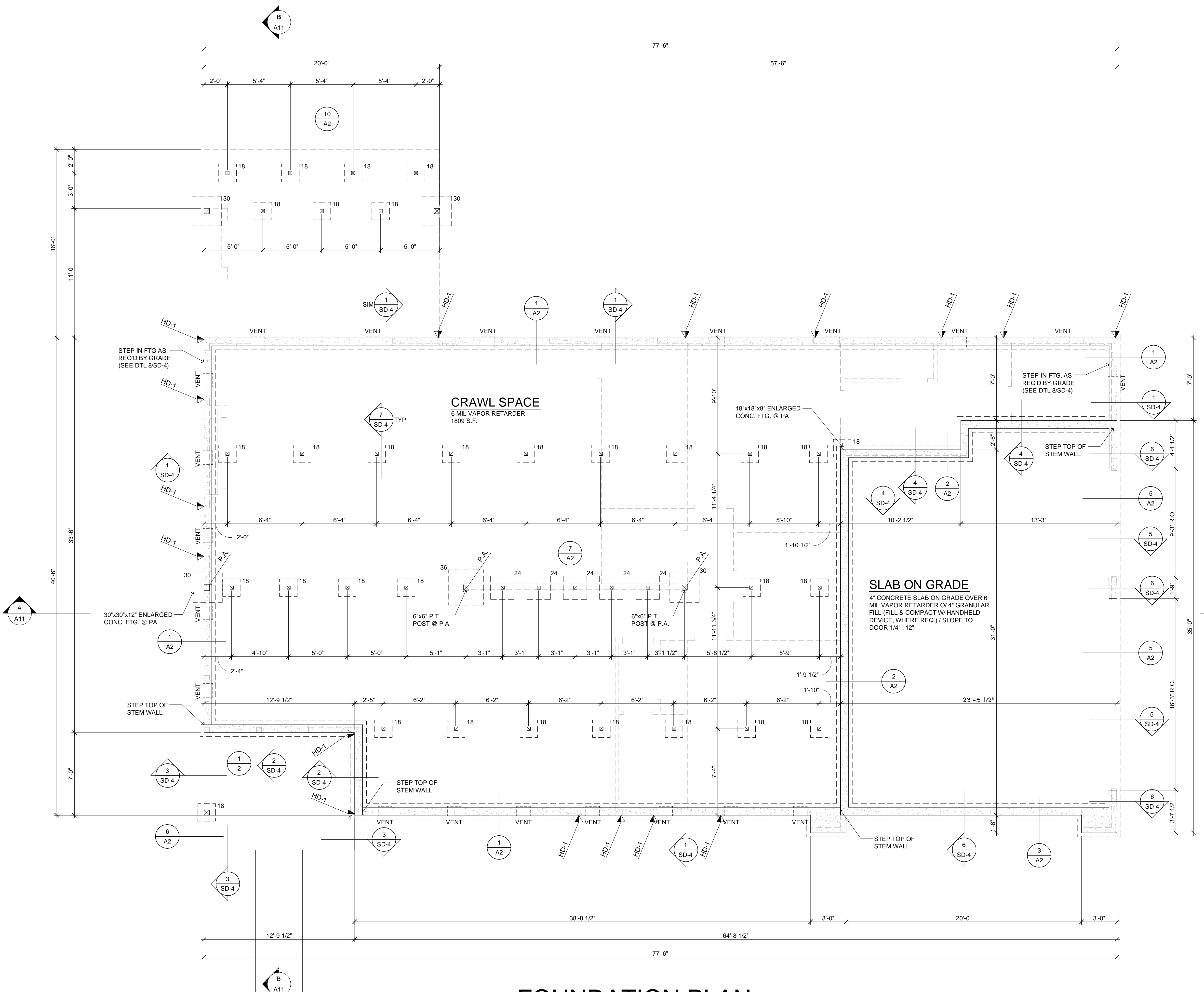
STEM WALL FNDN.
SCALE: 3/4" = 1'-0"
1
A2

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- GENERAL NOTES:**
- 8" MIN. CLEARANCE BETWEEN EXTERIOR GRADE & UNPROTECTED WOOD.
 - ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.
 - ALL DIMENSION LINES ARE TO FACE OF FRAMING OR CONCRETE, U.N.O.
 - SEE FNDN DETAILS FOR LOCATION & SPACING OF ANCHOR BOLTS.
 - INSTALL ALL HOLDDOWNS AND HARDWARE PRIOR TO BACKFILLING.
 - FOUNDATION DESIGN IS BASED ON AVERAGE BEARING CAPACITY OF 2000 PSF. REFER TO SOILS REPORT AS SPECIFIED IN GENERAL STRUCTURAL NOTES SHEET S1.0 FOR ADDITIONAL FOUNDATION DESIGN INFORMATION.
 - PROVIDE 18"x24" MIN. CRAWLSPACE ACCESS WEATHERSTRIP AND INSULATE PER WSEC R402.2.4.

- 18 18" SQ. X 8" THICK FTG. W/ (2) #4 EA. WAY BOT.
- 24 24" SQ. X 8" THICK FTG. W/ (3) #4 EA. WAY BOT.
- 30 30" SQ. X 12" THICK FTG. W/ (4) #4 EA. WAY BOT.
- 36 36" SQ. X 12" THICK FTG. W/ (4) #4 EA. WAY BOT.
- Ø TYPICAL POST IS HF#2 4X4, U.N.O.

CRAWLSPACE VENTILATION:

I.B.C. Sec. R408.1
 UNDER-FLOOR AREAS SHALL HAVE A NET AREA OF NOT LESS THAN 1 SQ. FT. OF VENTILATION FOR EACH 150 SQ. FT. OF UNDER-FLOOR AREA. THE UNDER FLOOR AREA = 2,326 S.F. / 150 = 15.51 S.F. OF REQUIRED VENTING AREA. USING 7"x14" SCREENED VENTS PROVIDES 0.75 S.F. OF VENTING FOR EACH VENT. 15.51 S.F. / 0.75 S.F. = 20.68. THE OPENINGS SHALL BE COVERED WITH CORROSION-RESISTANT METAL MESH WITH OPENINGS OF 1/4" IN DIMENSION. (21) 7" X 14" VENTS REQUIRED.

PLAN NOTES:

- BOTTOM OF ALL FOOTINGS SHALL BE 18" MINIMUM BELOW LOWEST ADJACENT GRADE, UNO.
- SLAB ON GRADE SHALL BE 4" MINIMUM THICKNESS. REINFORCE WITH 6X6 W1.4XW1.4 WWM CENTERED IN SLAB. PROVIDE VAPOR BARRIER BELOW SLAB OVER 4" MINIMUM FREE DRAINING GRAVEL OVER FIRM NATIVE SOILS OR STRUCTURAL FILL PER SOILS ENGINEER.
- REFER TO SHEET S3.0 FOR TYPICAL FOUNDATION AND CONCRETE DETAILS.
- REFER TO GENERAL STRUCTURAL NOTES SHEET S1.0 FOR ADDITIONAL REQUIREMENTS.
- DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.

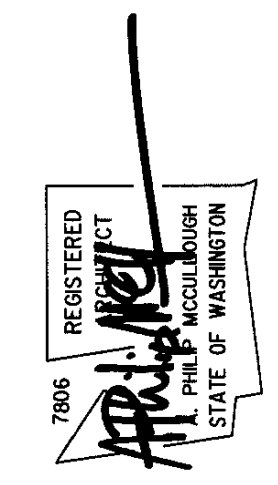
TYPICAL CRAWLSPACE NOTES:

4x4 P.T. POST w/ 2x4 CLEATS EA. SIDE + (2) A35 CLIPS OON EA. SIDE @ BASE OF POST w/ 0.131"x1 1/2" LONG REDHEAD NAILS (4'-0" MAX. POST HEIGHT) ON ASPHALT SHINGLE ON 18"x18"x8" CONC. FTG. (TYP. U.N.O.)

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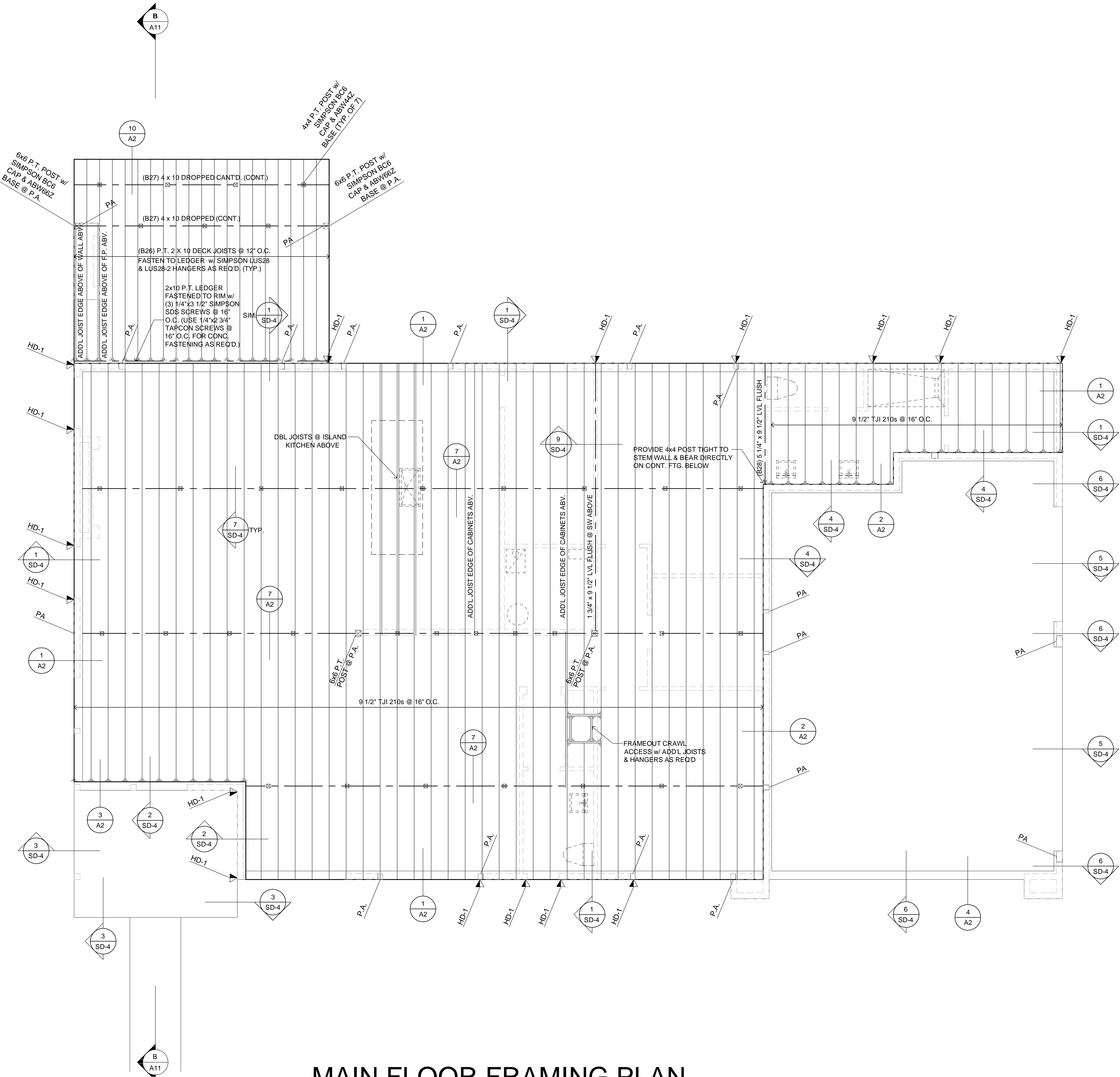


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Mercer Island, Washington

FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



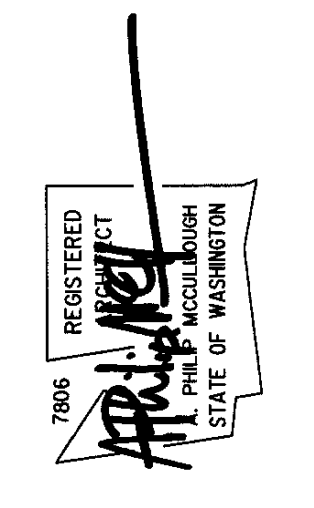
- GENERAL NOTES:
1. MAIN FLOOR FRAMING TO BE 9 1/2" TJI FLOOR JOISTS @ 16" O.C. WITH 3/4" OSB SUBFLOOR, GLUED AND NAILED, U.N.O. ADHESIVES SHALL CONFORM TO APA SPEC. AFG 01. PROVIDE T&G EDGES AT LONG PANEL EDGES. STAGGER SUBFLOOR END JOINTS.
 2. BEARING WALLS ARE SHADED.
 3. PROVIDE SOLID BLOCKING IN FLOOR AT ALL WALLS AND POINT LOADS FROM ABOVE.
 4. PROVIDE (3) 2 X POST @ ALL BEAMS, HEADERS & TRUSS GIRDS, U.N.O.
 5. NAIL PLYED BEAMS TOGETHER W/ 10d @ 12" O.C. @ TOP & BOTTOM.
 6. PROVIDE 18" X 24" MIN CRAWLSPACE ACCESS. WEATHERSTIP & INSULATE PER WSEC R402.2.4.
 7. GLB TO BE 24F-V4 U.N.O.
 8. PSL TO BE 2.0E U.N.O.

- INDICATES LOC. OF POINT LOAD FROM ABOVE (TYP.)
 - INDICATES LOC. OF SOLID SUPPORT
(2) STUDS LAM'D W/ 16d @ 12" O.C., (2) 16d EA. END TYP. UNLESS NOTED OTHERWISE
 - ┆ TYPICAL HANGER @ MAIN FLOOR SIMPSON LB
- B29 / B30 4x10 CONT. DROPPED GIRDER (TYP. U.N.O.)

TYPICAL CRAWLSPACE POSTS:
 4x4 P.T. POST w/ 2x4 CLEATS EA. SIDE + (2) A35 CLIPS ON EA. SIDE @ BASE OF POST w/ 0.131"x 1 1/2" LONG REDHEAD NAILS (4'-0" MAX. POST HEIGHT) ON ASPHALT SHINGLE ON 18"x18"x8" CONC. FTG. (TYP. U.N.O.)

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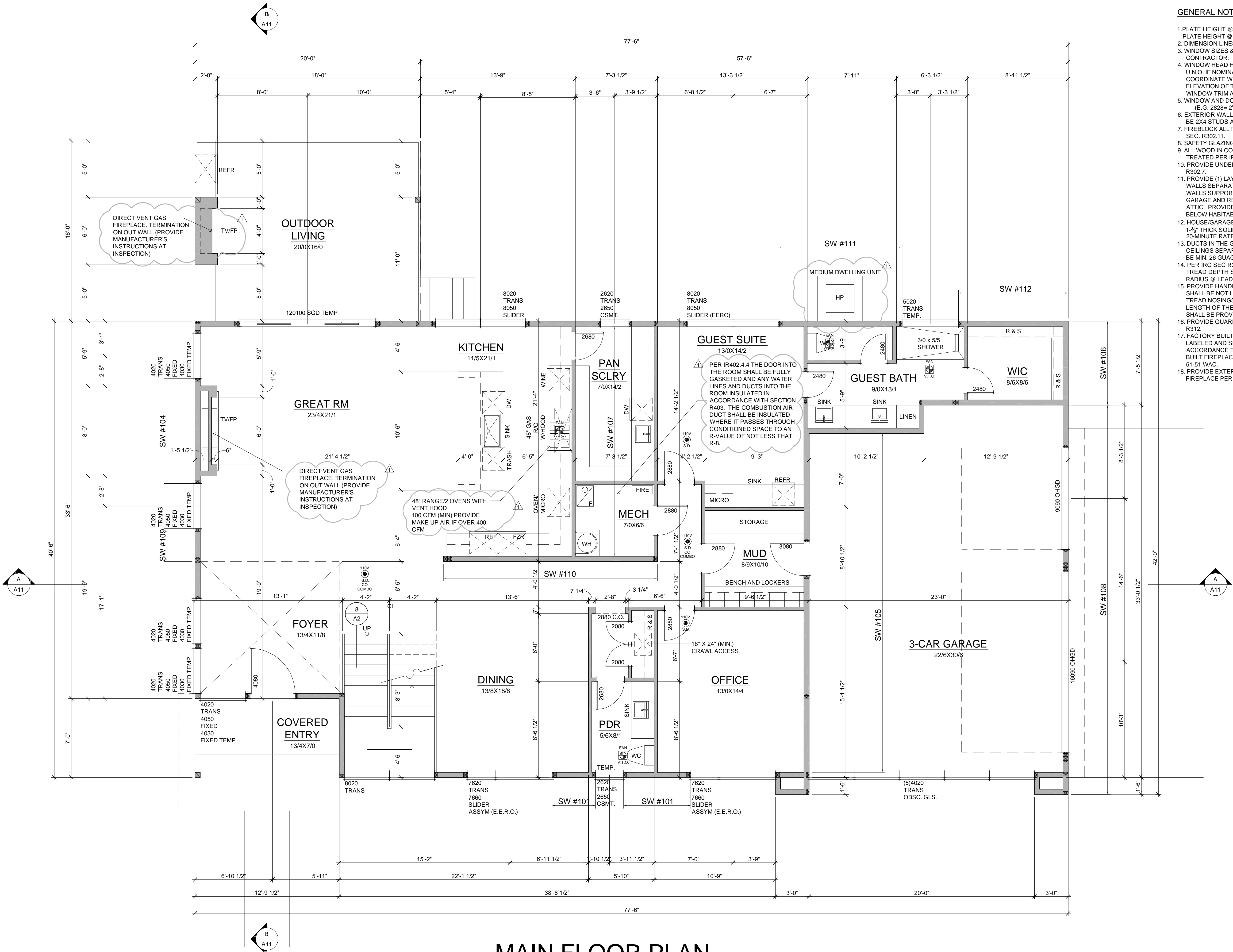


4719 86th Ave SE

Mercer Island, Washington



MAIN FLOOR FRAMING PLAN
 SCALE: 1/4" = 1'-0"



- GENERAL NOTES:**
1. PLATE HEIGHT @ MAIN FLOOR IS 10'-1", U.N.O. PLATE HEIGHT @ UPPER FLOOR IS 9'-1" U.N.P.
 2. DIMENSION LINES ARE TO FACE OF STUD U.N.O.
 3. WINDOW SIZES & ROUGH OPENINGS TO BE VERIFIED BY CONTRACTOR.
 4. WINDOW HEAD HEIGHT AT MAIN FLOOR IS 8'-0" ABOVE SUBFLOOR, U.N.O. IF NOMINAL DOOR AND WINDOW HEIGHTS ARE SIMILAR, COORDINATE WITH DOOR AND WINDOW SPEC'S TO LOCATE FINAL ELEVATION OF THE HEAD HEIGHTS SO THAT ALL DOOR AND WINDOW TRIM ALIGN.
 5. WINDOW AND DOOR SIZES ARE DIMENSIONED IN FEET AND INCHES (E.G. 2628= 2'-8" W X 2'-9" H)
 6. EXTERIOR WALLS TO BE 2X6 STUDS AT 16" O.C., INTERIOR WALLS TO BE 2X4 STUDS AT 16" O.C., U.N.O.
 7. FIREBLOCK ALL PLUMBING PENETRATIONS AND STAIR RUNS PER IRC SEC. R302.11.
 8. SAFETY GLAZING PER IRC SEC. R308.4.
 9. ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED PER IRC SEC. R317.1.
 10. PROVIDE UNDER-STAIR PROTECTION (1/2" GWB) PER IRC SEC. R302.7.
 11. PROVIDE (1) LAYER OF 1/2" GWB AT THE GARAGE SIDE OF ALL WALLS SEPARATING THE GARAGE FROM THE RESIDENCE, ALL WALLS SUPPORTING A FLOOR CEILING ASSEMBLY BETWEEN THE GARAGE AND RESIDENCE, AND BETWEEN THE GARAGE AND ITS ATTIC. PROVIDE (1) LAYER 5/8" TYPE X GWB TO GARAGE CEILING IF BELOW HABITABLE ROOMS.
 12. HOUSE/GARAGE DOOR SHALL BE 1-3/8" THICK WOOD SOLID CORE, OR 1-3/8" THICK SOLID OR HONEYCOMB CORE STEEL DOOR, OR 20-MINUTE RATED FIRE DOOR W/ SELF CLOSING DEVICE.
 13. DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS AND CEILING SEPARATING THE DWELLING FROM THE GARAGE SHALL BE MIN. 26 GAUGE GALVANIZED STEEL.
 14. PER IRC SEC R311.7.5. MAX. RISER HEIGHT SHALL BE 7-3/4". MIN. TREAD DEPTH SHALL BE 10". STAIR NOSINGS: 3/4" MIN., 1-1/4" MAX. RADIUS @ LEADING EDGE OF TREAD: 9/16" MAX.
 15. PROVIDE HANDRAILS PER IRC SEC. R311.7.8. TOP OF HANDRAIL SHALL BE NOT LESS THAN 34" OR MORE THAN 38" ABOVE THE TREAD NOSINGS. HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE FLIGHT PER R311.7.7.2. THE HANDRAIL GRIP-SIZE SHALL BE PROVIDED PER R311.7.7.3.
 16. PROVIDE GUARDS (MIN. 36" HEIGHT) IN LOCATIONS PER IRC SEC. R312.
 17. FACTORY BUILT FIREPLACES & CHIMNEYS SHALL BE LISTED & LABELED AND SHALL BE INSTALLED & TERMINATED IN ACCORDANCE TO THE CONDITIONS OF THE LISTINGS. FACTORY BUILT FIREPLACES SHALL MEET EMISSION STANDARDS PER CH. 51-51 WAC.
 18. PROVIDE EXTERIOR AIR SUPPLY TO ANY FACTORY-BUILT FIREPLACE PER IRC SEC R1006.

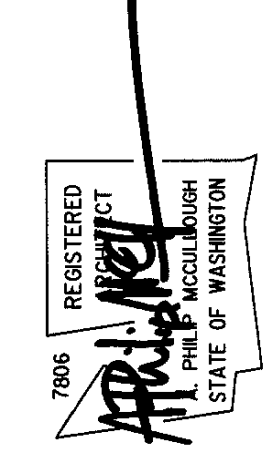
MAIN FLOOR PLAN

SCALE 1/4" = 1'-0" 2,314 SF TOTAL = 4,580 SF

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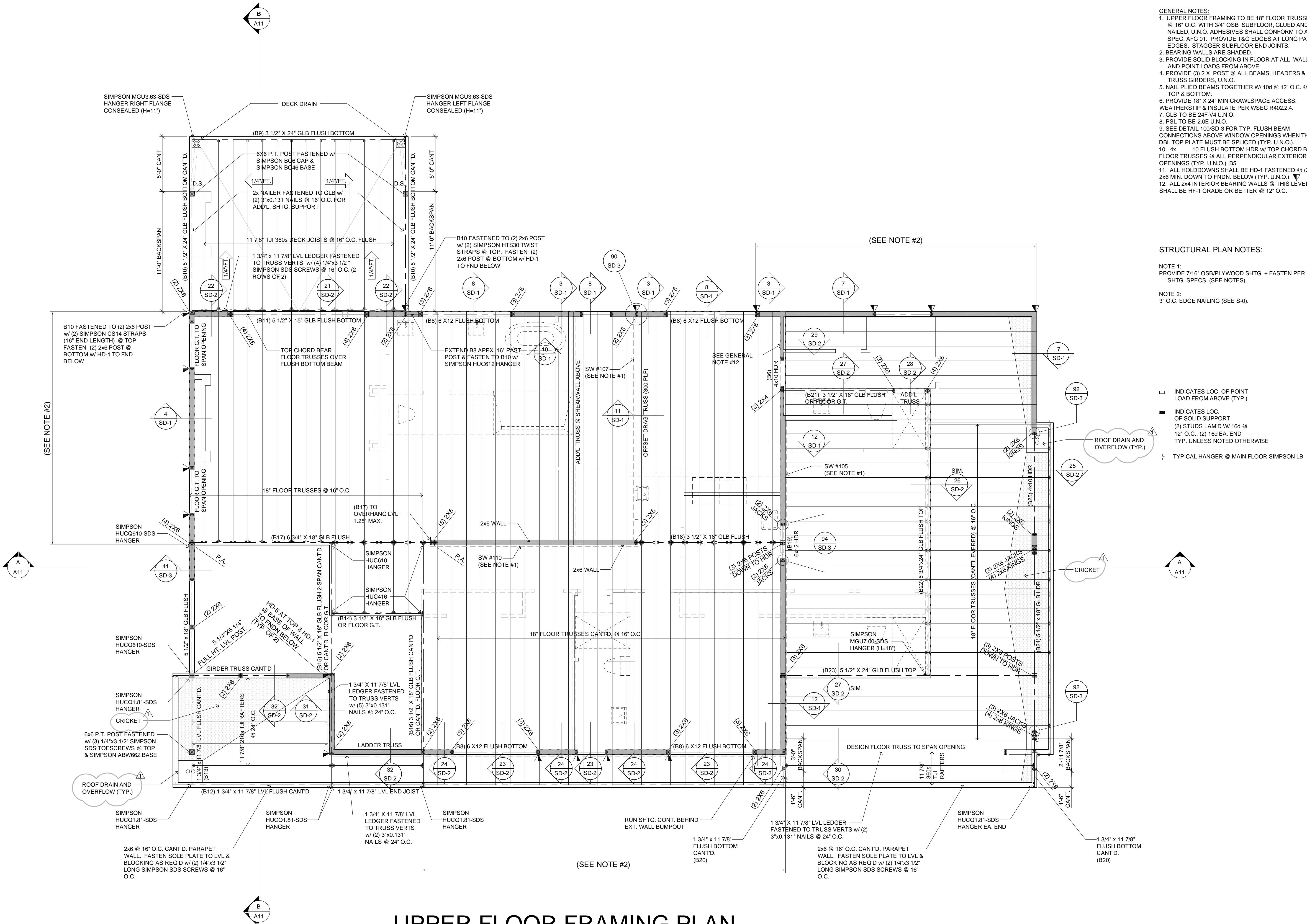
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 Owner:
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Mercer Island, Washington

Permit Documents
 Main Floor Plan
A5



GENERAL NOTES:

- UPPER FLOOR FRAMING TO BE 18" FLOOR TRUSSES @ 16" O.C. WITH 3/4" OSB SUBFLOOR, GLUED AND NAILED, U.N.O. ADHESIVES SHALL CONFORM TO APA SPEC. AFG 01. PROVIDE TAG EDGES AT LONG PANEL EDGES. STAGGER SUBFLOOR END JOINTS.
- BEARING WALLS ARE SHADED.
- PROVIDE SOLID BLOCKING IN FLOOR AT ALL WALLS AND POINT LOADS FROM ABOVE.
- PROVIDE (3) 2 X POST @ ALL BEAMS, HEADERS & TRUSS GIRDS, U.N.O.
- NAIL PLYED BEAMS TOGETHER W/ 10d @ 12" O.C. @ TOP & BOTTOM.
- PROVIDE 18" X 24" MIN CRAWLSPACE ACCESS. WEATHERSTIP & INSULATE PER WSEC R402.2.4.
- GLB TO BE 24F-V4 U.N.O.
- PSL TO BE 2.0E U.N.O.
- SEE DETAIL 100SD-3 FOR TYP. FLUSH BEAM CONNECTIONS ABOVE WINDOW OPENINGS WHEN THE DBL TOP PLATE MUST BE SPLICED (TYP. U.N.O.).
- 4x 10 FLUSH BOTTOM HDR W/ TOP CHORD BRG FLOOR TRUSSES @ ALL PERPENDICULAR EXTERIOR OPENINGS (TYP. U.N.O.) B5
- ALL HOLDDOWNS SHALL BE HD-1 FASTENED @ (2) 2x6 MIN. DOWN TO FND. BELOW (TYP. U.N.O.)
- ALL 2x4 INTERIOR BEARING WALLS @ THIS LEVEL SHALL BE HF-1 GRADE OR BETTER @ 12" O.C.

STRUCTURAL PLAN NOTES:

NOTE 1: PROVIDE 7/16" OSB/PLYWOOD SHTG. + FASTEN PER TYP. WALL SHTG. SPECS. (SEE NOTES).

NOTE 2: 3" O.C. EDGE NAILING (SEE S-0).

□ INDICATES LOC. OF POINT LOAD FROM ABOVE (TYP.)

■ INDICATES LOC. OF SOLID SUPPORT (2) STUDS LAM'D W/ 16d @ 12" O.C., (2) 16d EA. END TYP. UNLESS NOTED OTHERWISE

○ TYPICAL HANGER @ MAIN FLOOR SIMPSON LB

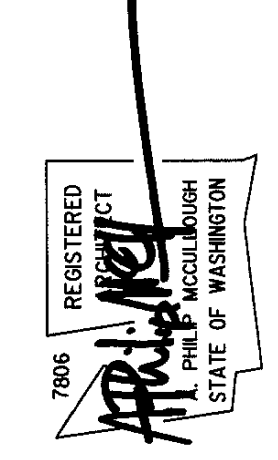
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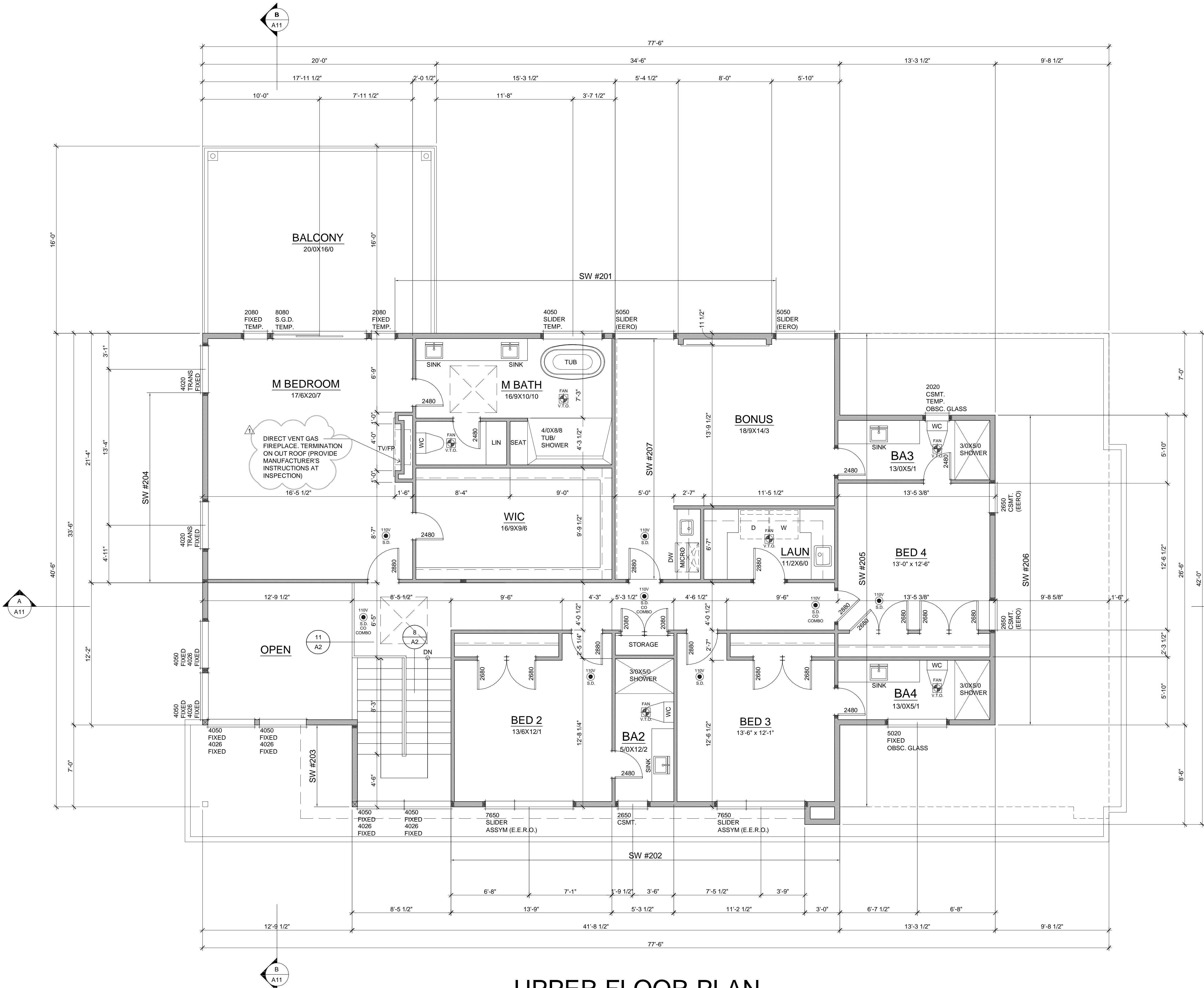
Mercer Island, Washington

Permit Documents Upper Floor Framing Plan

A6

UPPER FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"



- GENERAL NOTES:**
1. PLATE HEIGHT @ MAIN FLOOR IS 10'-1", U.N.O. PLATE HEIGHT @ UPPER FLOOR IS 9'-1" U.N.O.
 2. DIMENSION LINES ARE TO FACE OF STUD U.N.O.
 3. WINDOW SIZES & ROUGH OPENINGS TO BE VERIFIED BY CONTRACTOR.
 4. WINDOW HEAD HEIGHT AT MAIN FLOOR IS 8'-0" ABOVE SUBFLOOR, U.N.O. IF NOMINAL DOOR AND WINDOW HEIGHTS ARE SIMILAR, COORDINATE WITH DOOR AND WINDOW SPEC'S TO LOCATE FINAL ELEVATION OF THE HEAD HEIGHTS SO THAT ALL DOOR AND WINDOW TRIM ALIGN.
 5. WINDOW AND DOOR SIZES ARE DIMENSIONED IN FEET AND INCHES (E.G. 2828= 2'-8"W X 2'-8"H)
 6. EXTERIOR WALLS TO BE 2X6 STUDS AT 16" O.C., INTERIOR WALLS TO BE 2X4 STUDS AT 16" O.C., U.N.O.
 7. FIREBLOCK ALL PLUMBING PENETRATIONS AND STAIR RUNS PER IRC SEC. R302.11.
 8. SAFETY GLAZING PER IRC SEC. R308.4.
 9. ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED PER IRC SEC. R317.1.
 10. PROVIDE UNDER-STAIR PROTECTION (1/2" GWB) PER IRC SEC R302.7.
 11. PROVIDE (1) LAYER OF 1/2" GWB AT THE GARAGE SIDE OF ALL WALLS SEPARATING THE GARAGE FROM THE RESIDENCE, ALL WALLS SUPPORTING A FLOOR CEILING ASSEMBLY BETWEEN THE GARAGE AND RESIDENCE, AND BETWEEN THE GARAGE AND ITS ATTIC. PROVIDE (1) LAYER 5/8" TYPE X GWB TO GARAGE CEILING IF BELOW HABITABLE ROOMS.
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 13. DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS AND CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE MIN. 26 GAUGE GALVANIZED STEEL.
 14. PER IRC SEC R311.7.5. MAX. RISER HEIGHT SHALL BE 7-3/4", MIN. TREAD DEPTH SHALL BE 10". STAIR NOSINGS: 3/4" MIN., 1-1/4" MAX. RADIUS @ LEADING EDGE OF TREAD; 3/16" MAX.
 15. PROVIDE HANDRAILS PER IRC SEC. R311.7.8. TOP OF HANDRAIL SHALL BE NOT LESS THAN 34" OR MORE THAN 38" ABOVE THE TREAD NOSINGS. HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE FLIGHT PER R311.7.7.2.
 16. PROVIDE GUARDS (MIN. 36" HEIGHT) IN LOCATIONS PER IRC SEC. R312.
 17. FACTORY BUILT FIREPLACES & CHIMNEYS SHALL BE LISTED & LABELED AND SHALL BE INSTALLED & TERMINATED IN ACCORDANCE TO THE CONDITIONS OF THE LISTINGS. FACTORY BUILT FIREPLACES SHALL MEET EMISSION STANDARDS PER CH. 51-51 WAC.
 18. PROVIDE EXTERIOR AIR SUPPLY TO ANY FACTORY-BUILT FIREPLACE PER IRC SEC R1006.

UPPER FLOOR PLAN

SCALE 1/4" = 1'-0" 2,204 SF

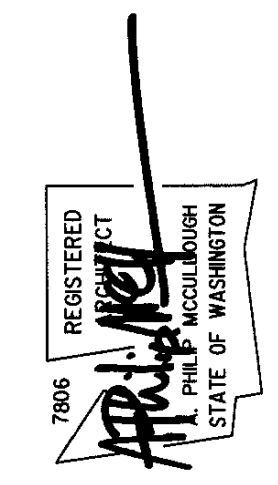
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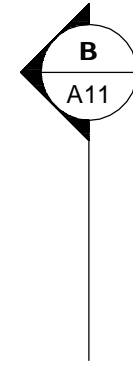
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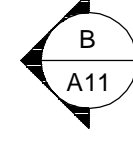
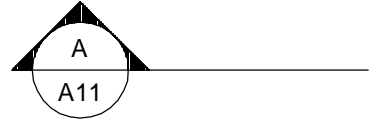
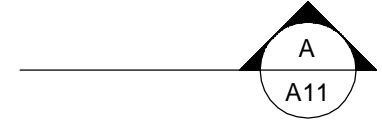
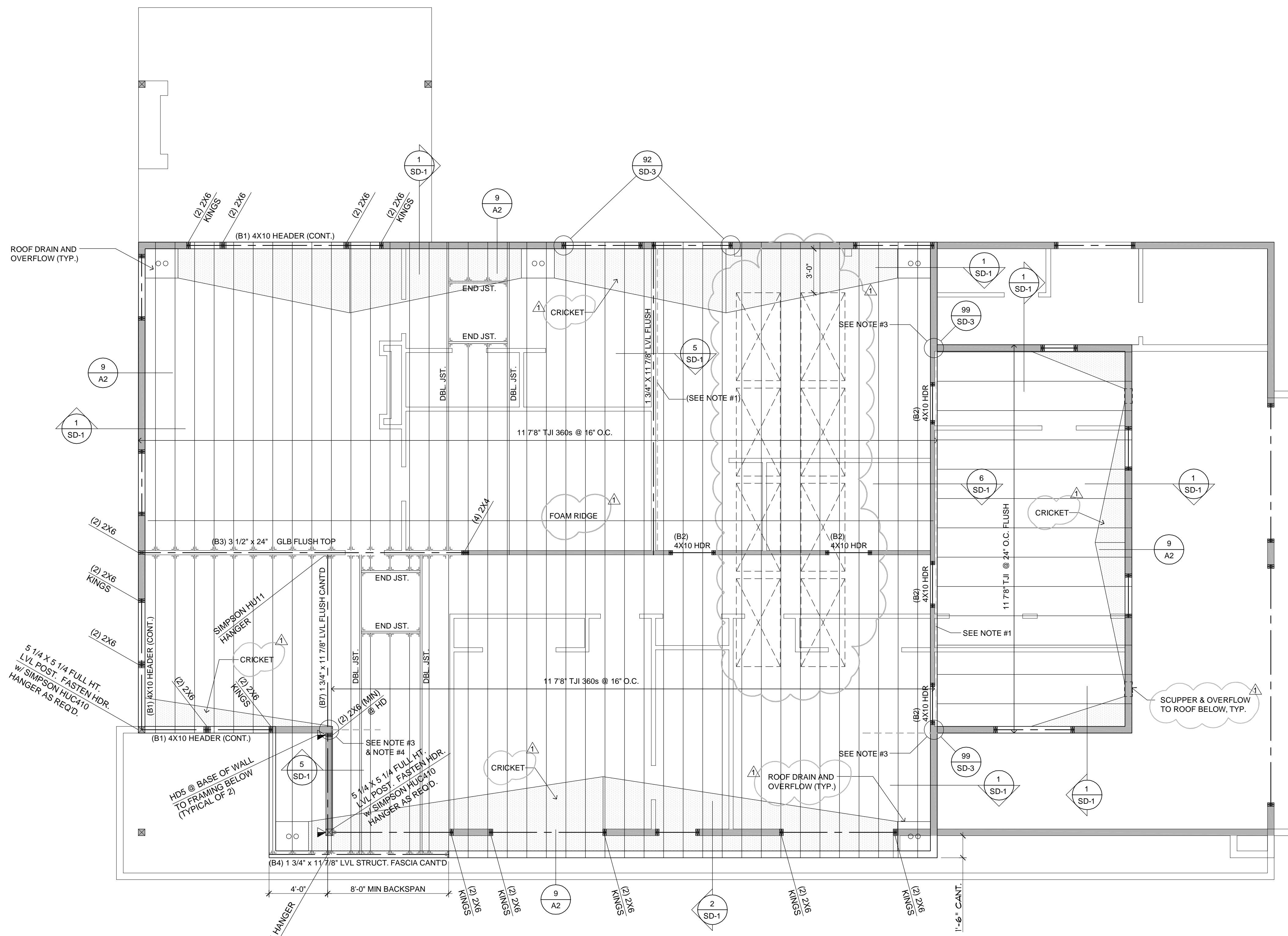
- GENERAL NOTES:
1. VENTED EAVE BLOCKING @ BEARING, U.N.O.
 2. BEARING WALLS ARE SHADED.
 3. OVER FRAME ROOF AREAS ARE SHOWN HATCHED.
 4. ROOF FITCH AS SHOWN.
 5. EAVE OVERHANG TO BE AS SHOWN. GABLE END & RAKE OVERHANG TO BE AS SHOWN.
 6. APPLY ROOFING IN ACCORDANCE WITH I.R.C. SEC. 905.
 7. COMPOSITION ROOF FASTENERS AS PER I.R.C. SEC. 905.2.5.
 8. PROVIDE ATTIC ACCESS WITH MIN. OF 22"X30" CLEAR. WEATHERSTRIP & INSULATE PER WSEC R402.2.4.
 9. WOOD TRUSSES SHALL BE DESIGNED PER IRC SEC. R802.10
 10. ALL TRUSSES SHALL CARRY MANUFACTURER'S STAMP. SHALL BE INSTALLED AND BRACED TO MANUFACTURER'S SPECIFICATIONS, SHALL HAVE DESIGN DETAILS AND DRAWINGS ON SITE FOR FRAMING INSPECTION, AND WILL NOT BE FIELD ALTERED WITHOUT PRIOR BUILDING DEPARTMENT APPROVAL OF ENGINEER'S CALCULATIONS.
 11. TRUSS MANUFACTURER TO SUPPLY ALL BLOCKING AND HANGERS REQUIRED AT MANUFACTURED TRUSSES.
 12. TRUSS LAYOUT TO BE REVIEWED AND APPROVED BY TRUSS MANUFACTURER PRIOR TO CONSTRUCTION. ALL CHANGES TO BE SUBMITTED AND APPROVED BY ARCHITECT PRIOR TO FABRICATION.
 13. COLUMNS AT HEADERS, BEAMS, AND GIRDERS TO BE (2) 2X STUDS, U.N.O.
 14. MARKERS FOR BLOWN-IN OR SPRAYED INSULATION SHALL BE PLACED EVERY 300 S.F. AND SHALL FACE TOWARD ATTIC ACCESS PER IECC SEC 303.1.1.1
 15. PROVIDE DRAFT STOP IN COMBUSTIBLE CONSTRUCTION WHERE THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR CEILING ASSEMBLY NOT TO EXCEED 1,000 SQUARE FEET INTO APPROXIMATELY EQUAL AREAS. (R302.12)
 16. ALL TRUSS HEELS TO BE 7" UNO.
 17. (B1) 4 X 10 HEADER @ ALL EXT. OPENINGS (TYP. U.N.O.)

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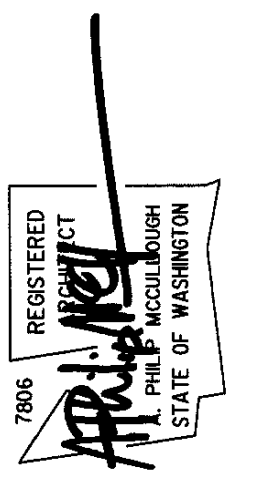
- STRUCTURAL PLAN NOTES:**
- NOTE 1: PROVIDE 7/16" OSB/PLYWOOD SHTG. + FASTEN PER TYP. WALL SHTG. SPECS. (SEE NOTES).
- NOTE 3: PROVIDE SIMPSON CS16 STRAP FROM DBL TOP PLATE OR FLUSH BEAM (13" END LENGTH) TO UNDERSIDE OF BLOCKING BETWEEN JOISTS FOR (3) BAYS (6'-0" MIN.) FASTEN ROOF SHTG. TO BLOCKING w/ 2 1/2.131 NAILS @ 6'-0" O.C.
- NOTE 4: PROVIDE SIMPSON CS16 STRAP FROM DBL TOP PLATE TO UNDERSIDE OF FLUSH BEAM (14" END LENGTH)



ROOF FRAMING PLAN
 SCALE: 1/4" = 1'-0"

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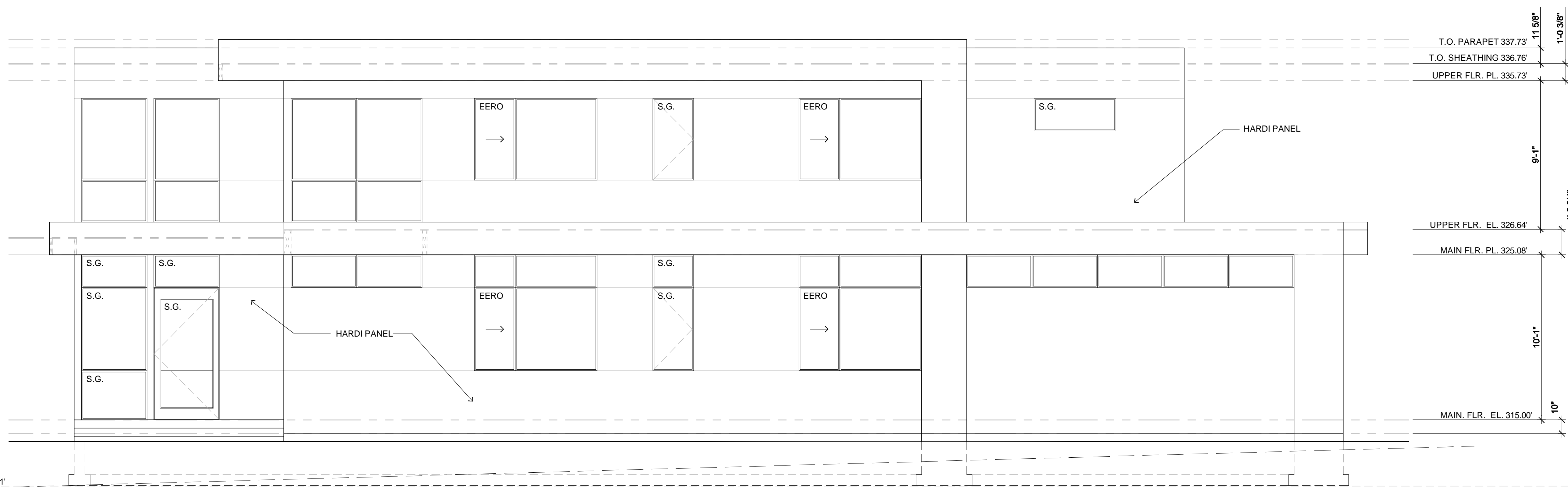
Permit Documents
 Roof Framing Plan
A8



ALLOWABLE BUILDING HEIGHT 340.81'

30'-0"

AVERAGE BUILDING ELEVATION 310.81'



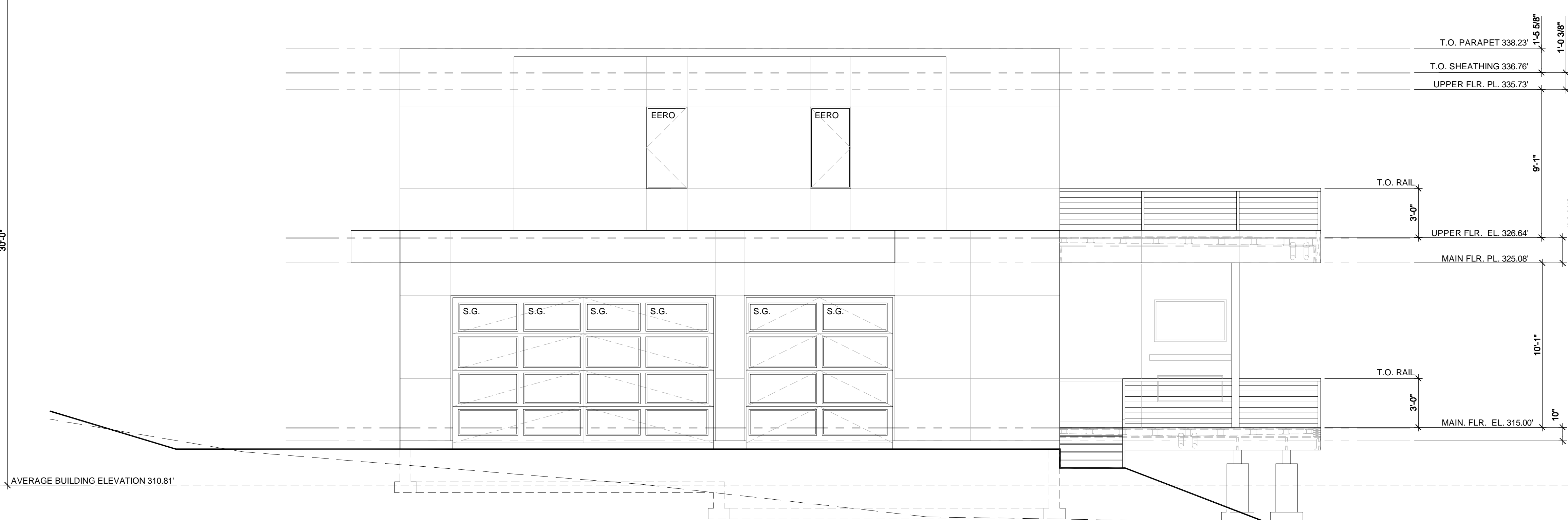
EAST ELEVATION

SCALE: 1/4" = 1'-0"

ALLOWABLE BUILDING HEIGHT 340.81'

30'-0"

AVERAGE BUILDING ELEVATION 310.81'



NORTH ELEVATION

SCALE: 1/4" = 1'-0"

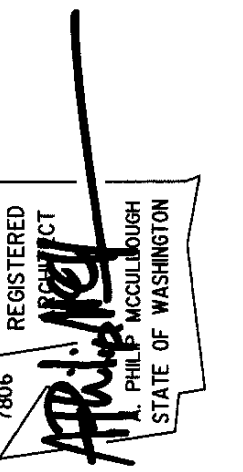
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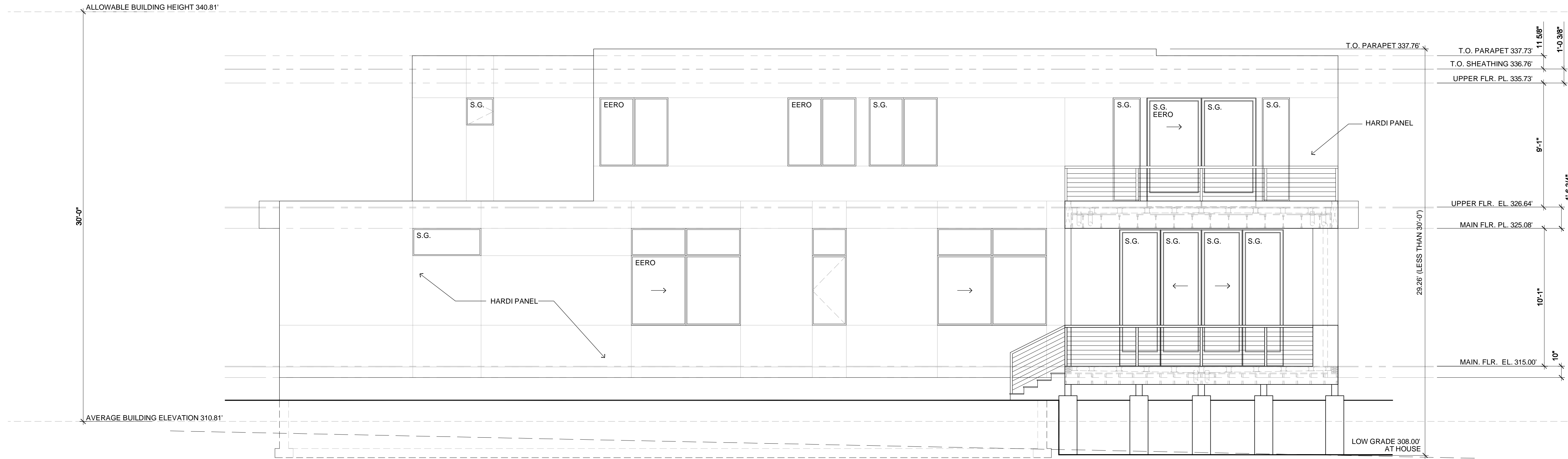
Lot 1-86th Ave SE

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Permit Documents

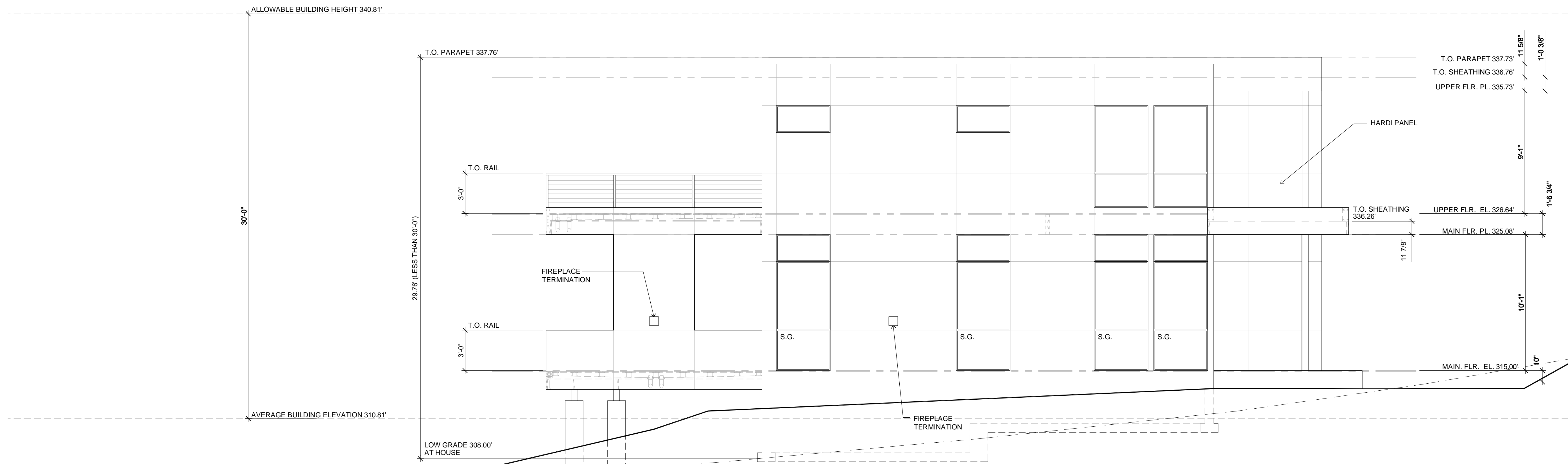
Exterior Elevations

A9



WEST ELEVATION

SCALE: 1/4" = 1'-0"



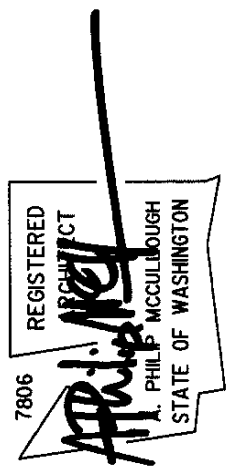
SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

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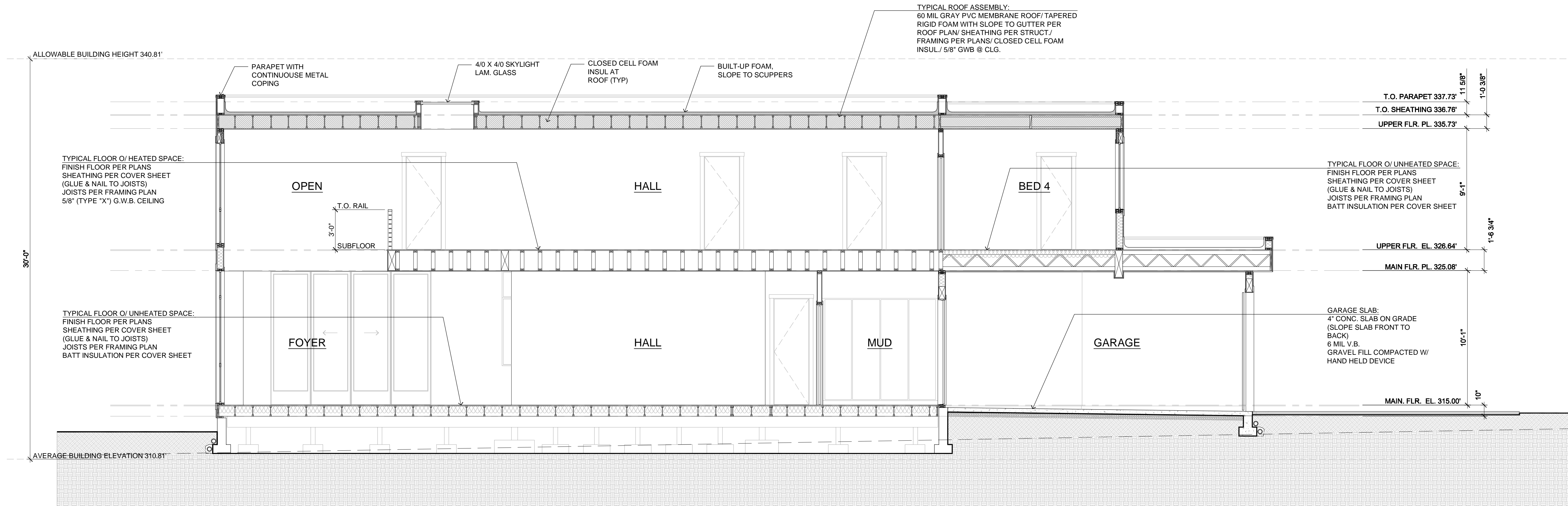
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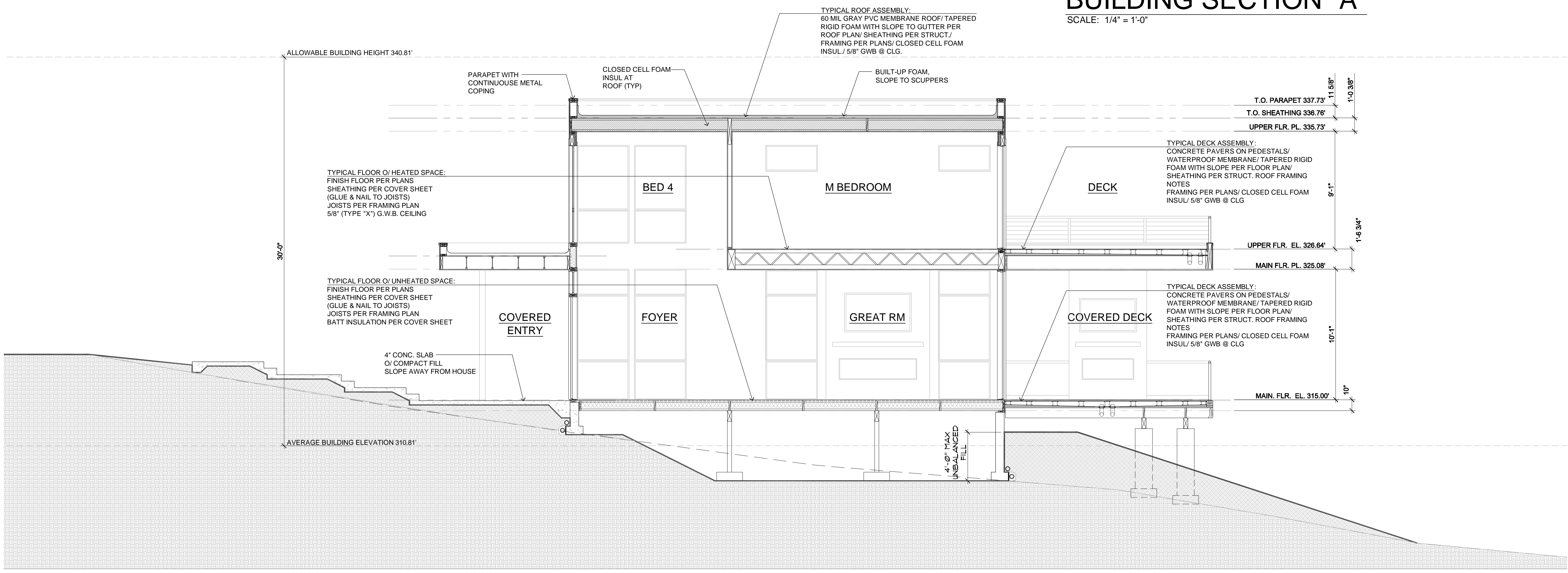
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BUILDING SECTION "A"

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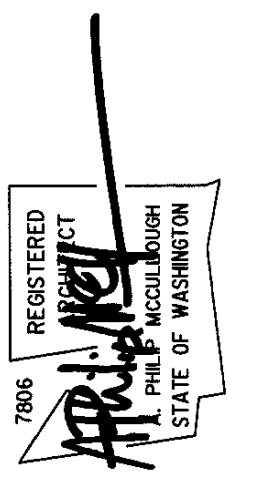


BUILDING SECTION "B"

SCALE: 1/4" = 1'-0"

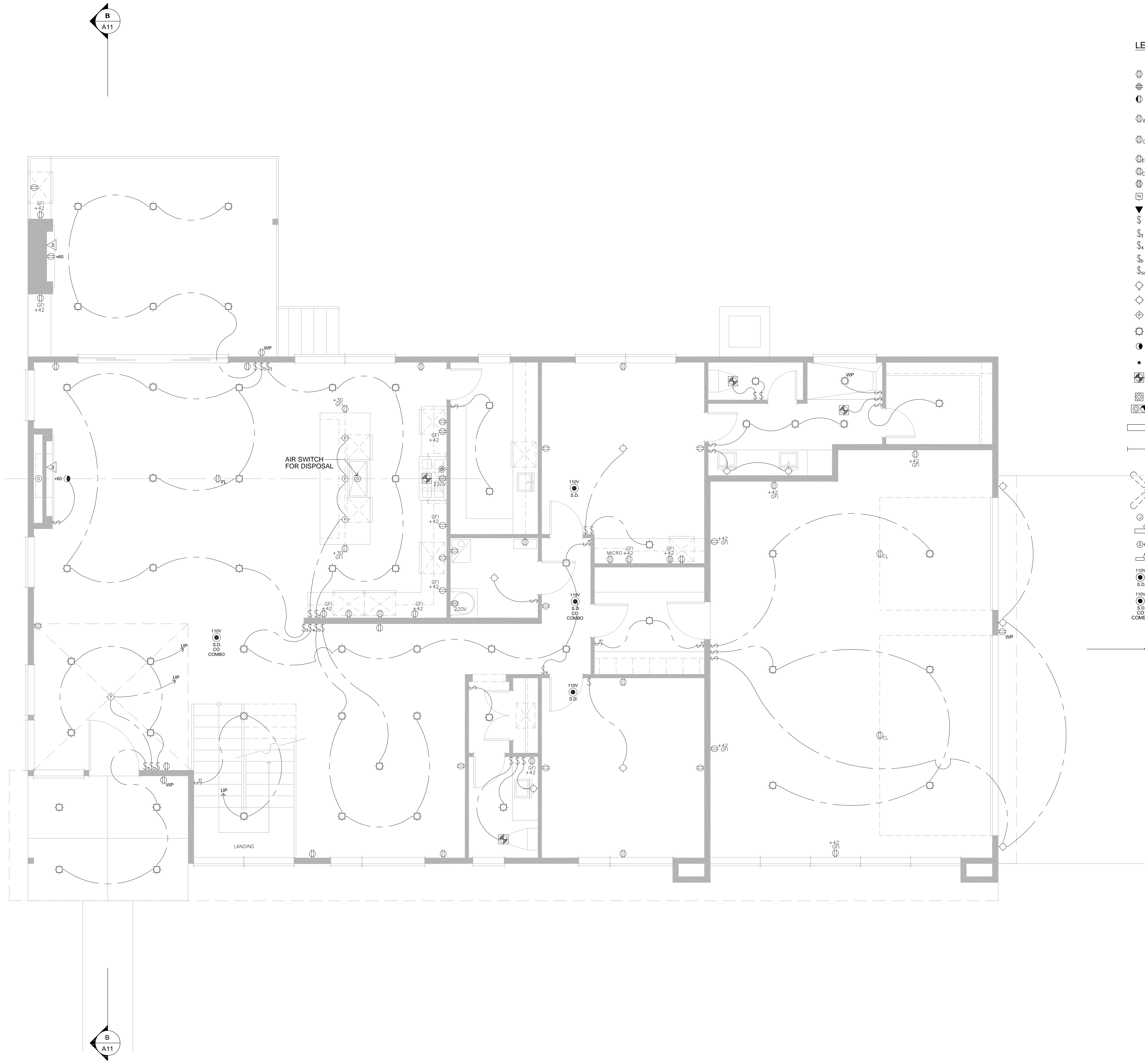
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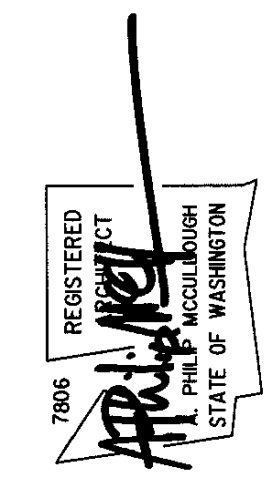
LEGEND:

- ⊕ DUPLICATION (110V AT +12" A.F.F. U.N.O.)
- ⊕ 4PLEX OUTLET (+12" A.F.F. U.N.O.)
- ⊕ DUPLICATION (110V AT +12" A.F.F. U.N.O.) (SWITCHED)
- ⊕_{WP} WATER PROOF DUPLICATION OUTLET (110V AT +12" A.F.F. U.N.O.)
- ⊕_{GFI} GROUND FAULT INTERRUPTER DUPLICATION OUTLET (110V AT +12" A.F.F. U.N.O.)
- ⊕_{FLO} FLOOR OUTLET
- ⊕_{CEI} CEILING OUTLET
- ⊕_{220V} 220V OUTLET
- ⊕_{TV} TV OUTLET
- ⊕ TELEPHONE
- ⊕ SWITCH
- ⊕ 3 WAY SWITCH
- ⊕ 4 WAY SWITCH
- ⊕ DIMMER SWITCH
- ⊕ SPEED CONTROL SWITCH
- ⊕ WALL MOUNTED LIGHT FIXTURE
- ⊕ CEILING MOUNT LIGHT FIXTURE
- ⊕ PENDANT LIGHT FIXTURE
- ⊕ RECESSED LIGHT FIXTURE
- ⊕ RECESSED WALL WASHER
- RECESSED PIN SPOT
- ⊕ EXHAUST FAN
- ⊕ HEAT LAMP
- ⊕ HEAT LAMP/EXHAUST FAN
- ⊕ FLUORESCENT LIGHT FIXTURE, 1 X 4 SURFACE MOUNTED
- ⊕ FLUORESCENT LIGHT FIXTURE, TASK LIGHT UNDER CABINET
- ⊕ CEILING FAN
- ⊕ JUNCTION BOX
- ⊕ CHIMES
- ⊕ GAS CONNECTION
- ⊕ ALARM KEY PAD
- ⊕ SMOKE DETECTOR
- ⊕ SMOKE DETECTOR C.O. COMBO

Revisions	Comment
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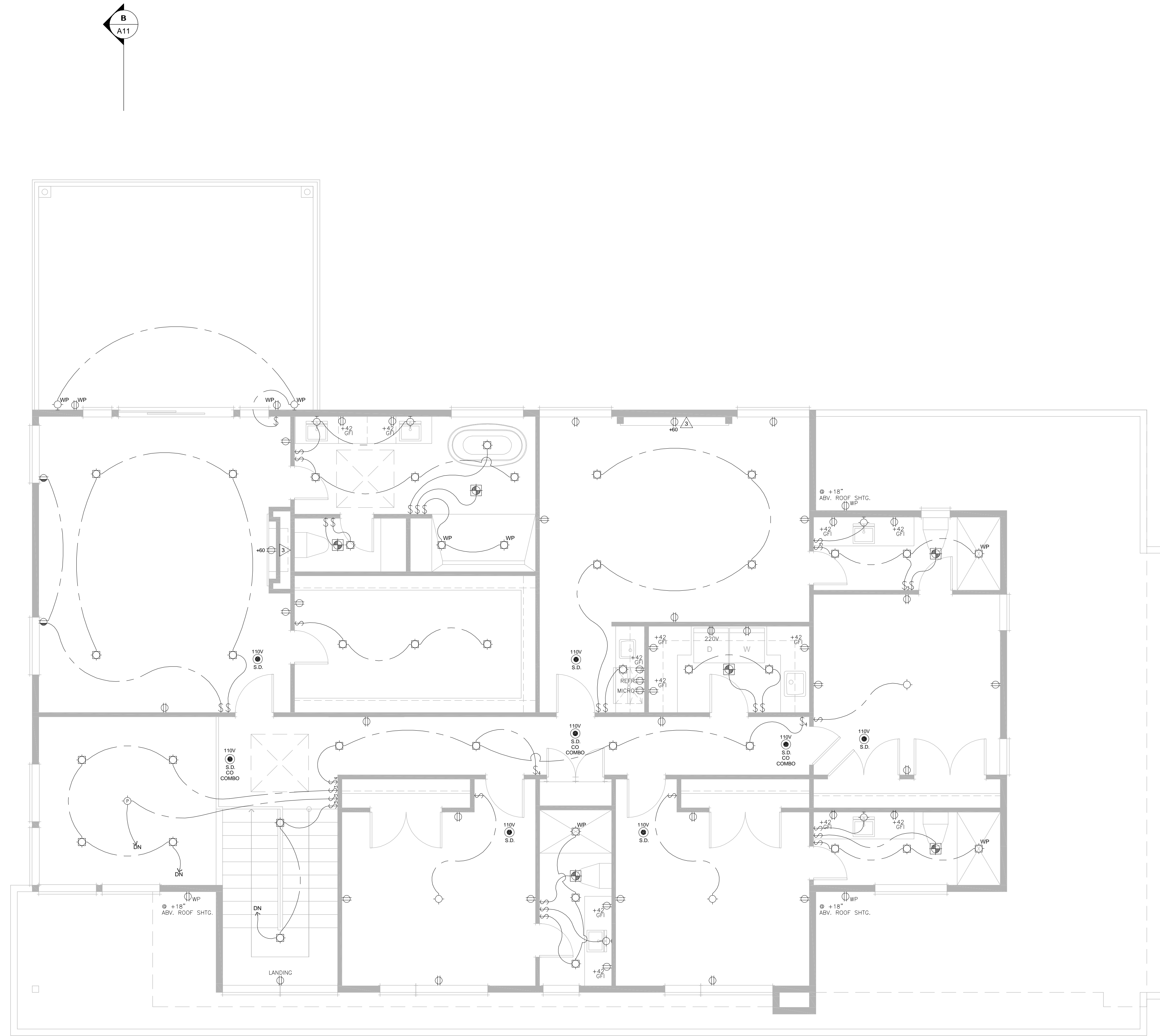
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- LEGEND:**
- ⊕ DUPLEX OUTLET (110V AT +12" A.F.F. U.N.O.)
 - ⊕ 4PLEX OUTLET (+12" A.F.F. U.N.O.)
 - ⊕ DUPLEX OUTLET (110V AT +12" A.F.F. U.N.O.) (SWITCHED)
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 - ⊕_F FLOOR OUTLET
 - ⊕_C CEILING OUTLET
 - ⊕_{220V} 220V OUTLET
 - ⊕_{TV} TV OUTLET
 - ⬇ TELEPHONE SWITCH
 - ⚡ 3 WAY SWITCH
 - ⚡ 4 WAY SWITCH
 - ⚡ DIMMER SWITCH
 - ⚡ SPEED CONTROL SWITCH
 - ⊕_{WM} WALL MOUNTED LIGHT FIXTURE
 - ⊕_{CM} CEILING MOUNT LIGHT FIXTURE
 - ⊕_P PENDANT LIGHT FIXTURE
 - ⊕_R RECESSED LIGHT FIXTURE
 - ⊕_W RECESSED WALL WASHER
 - RECESSED PIN SPOT
 - ⊕ EXHAUST FAN
 - ⊕ HEAT LAMP
 - ⊕ HEAT LAMP/EXHAUST FAN
 - ⊕ FLUORESCENT LIGHT FIXTURE, 1 X 4 SURFACE MOUNTED
 - ⊕ FLUORESCENT LIGHT FIXTURE, TASK LIGHT UNDER CABINET

- ⊕_C CEILING FAN
- ⊕ JUNCTION BOX
- ⊕ CHIMES
- ⊕ GAS CONNECTION
- ⊕ ALARM KEY PAD
- ⊕_{SD} SMOKE DETECTOR
- ⊕_{SD CO COMBO} SMOKE DETECTOR C.O. COMBO

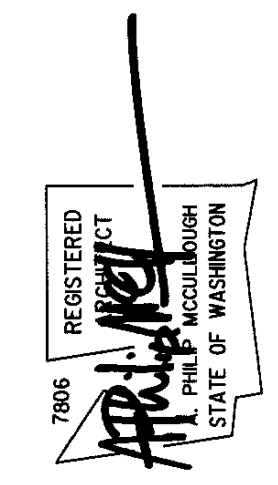
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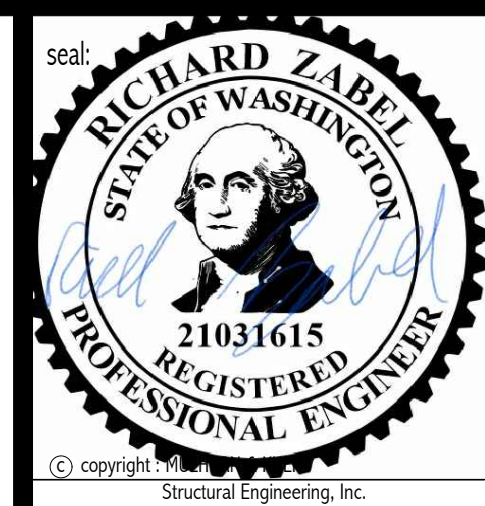
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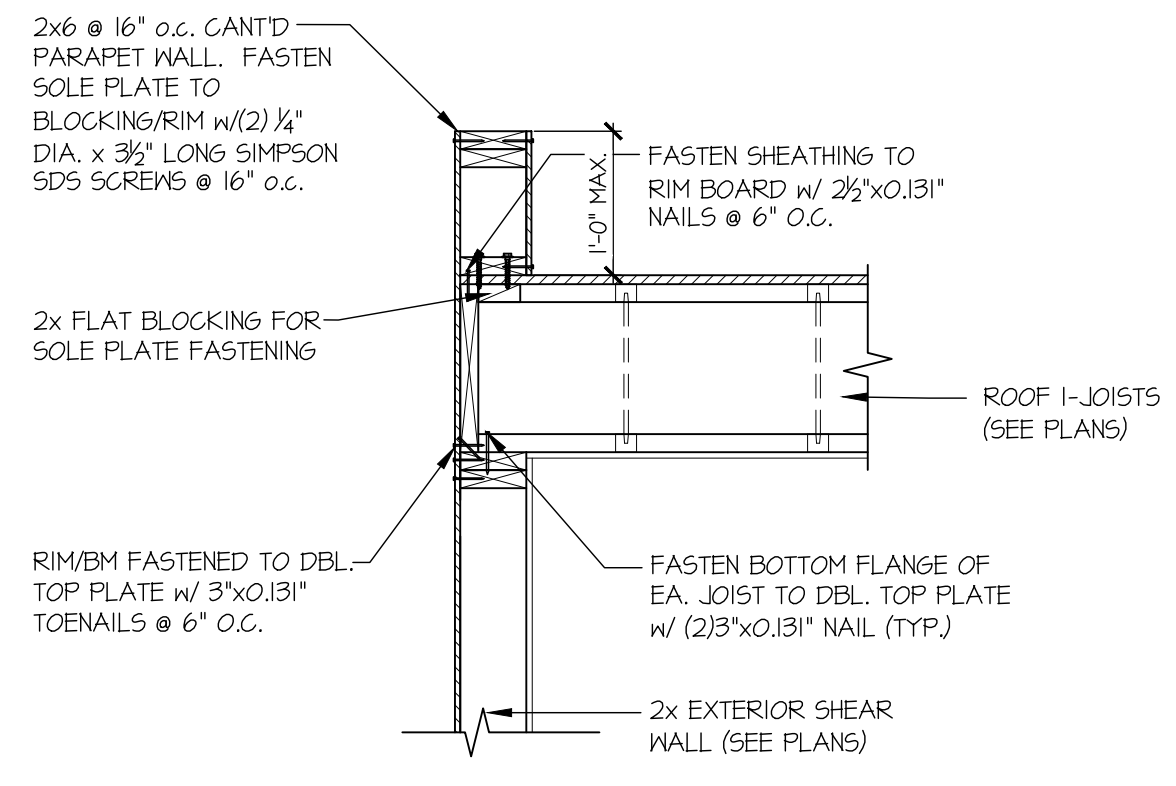
project mgr: **RJZ**
drawn by: **JCL**
issue date: **09-13-22**

REVISIONS:
date: initial:

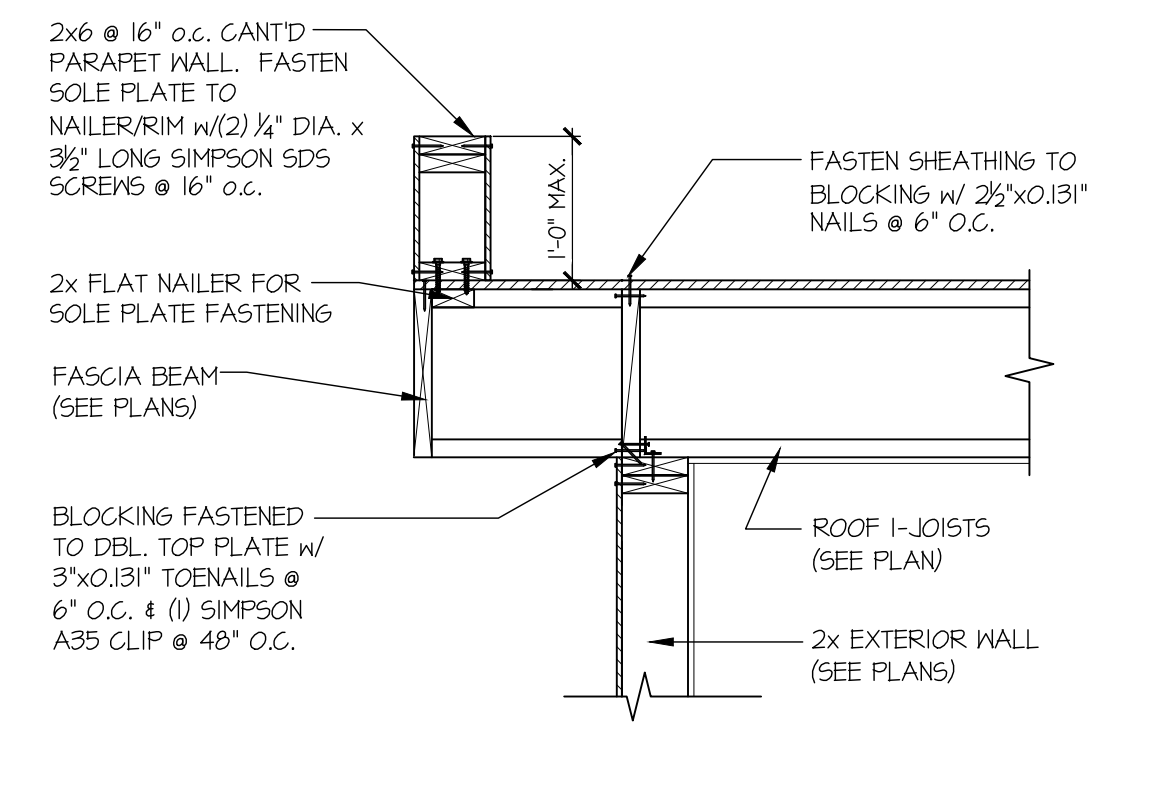
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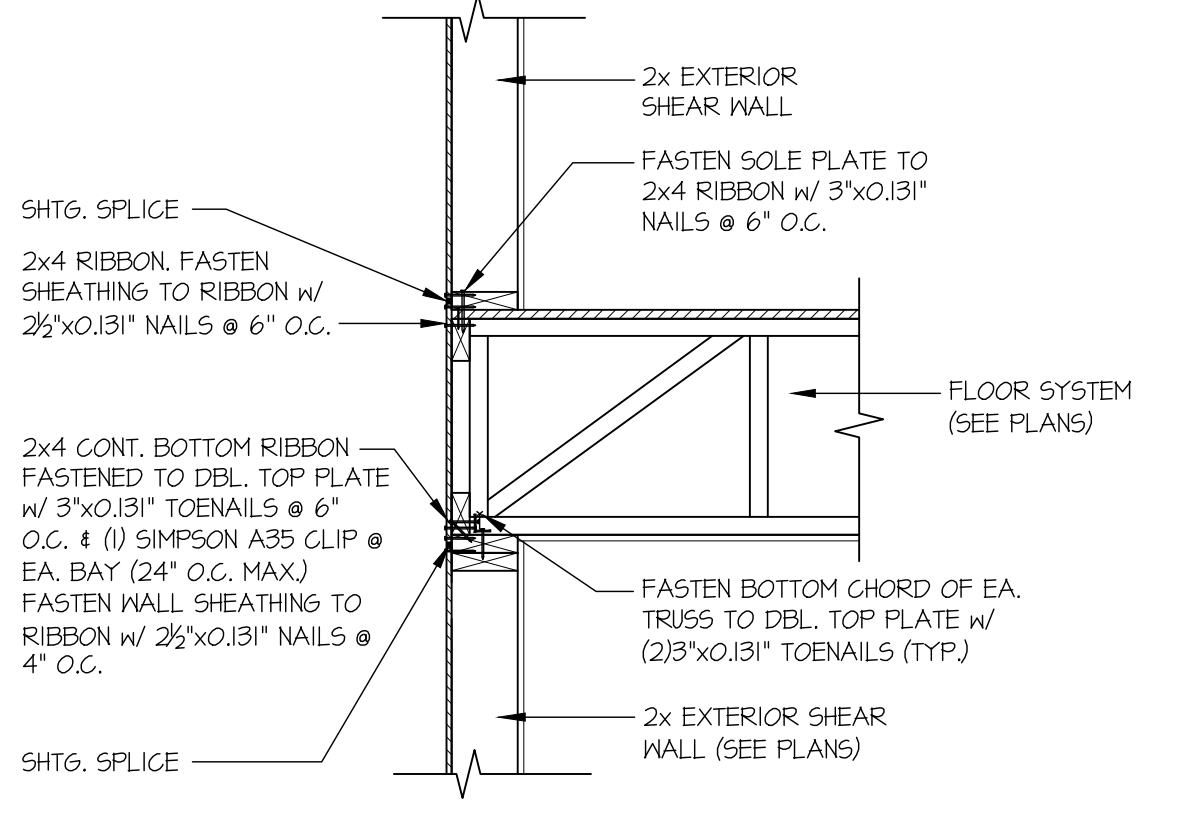
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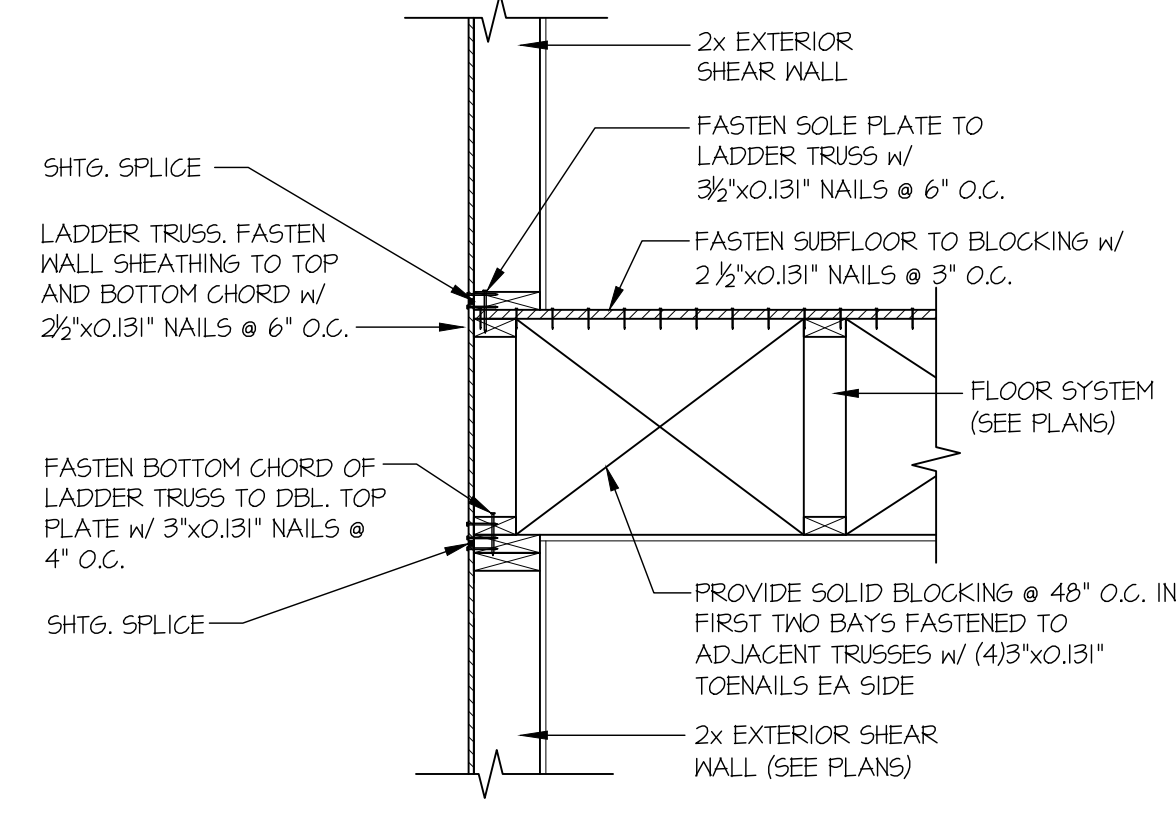
1 SECTION
SCALE: 3/4"=1'-0"



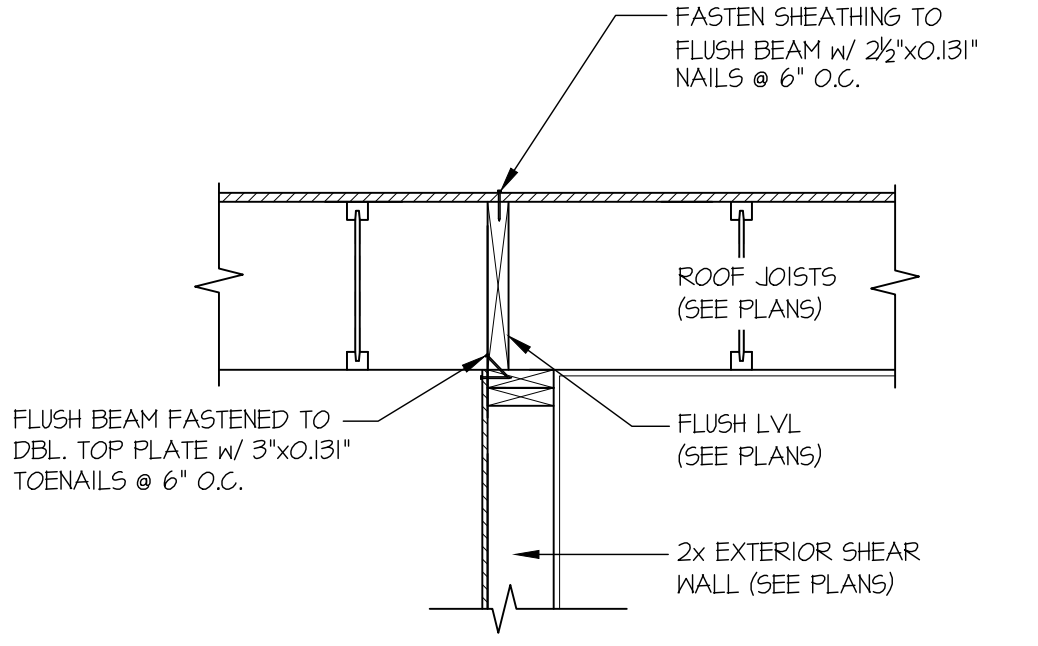
2 SECTION
SCALE: 3/4"=1'-0"



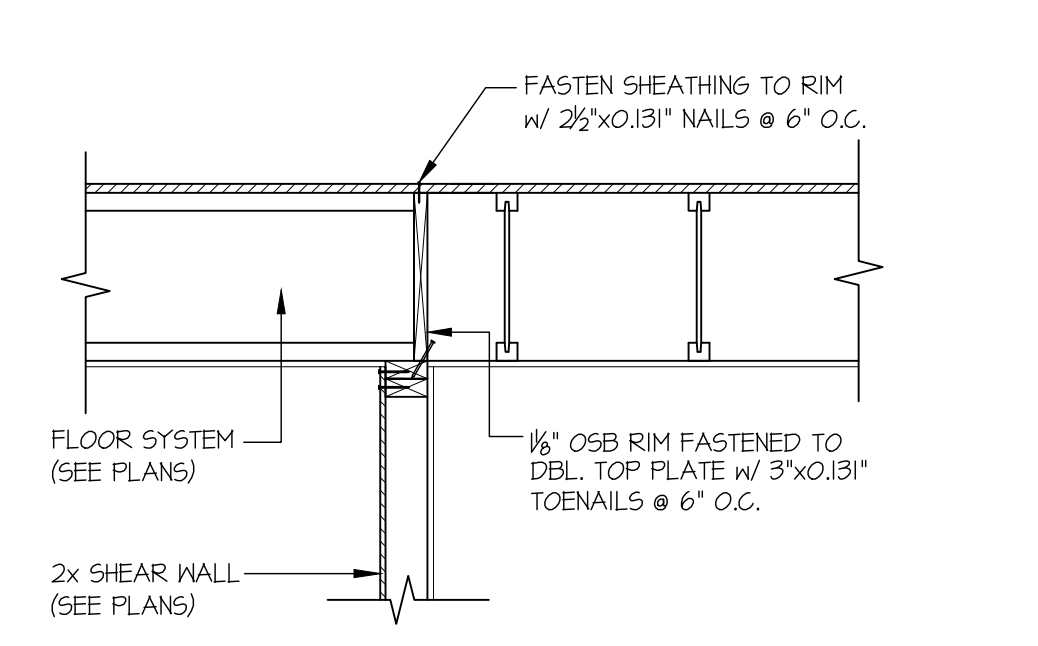
3 TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ EXTERIOR WALL
SCALE: 3/4"=1'-0" PERPENDICULAR FRAMING



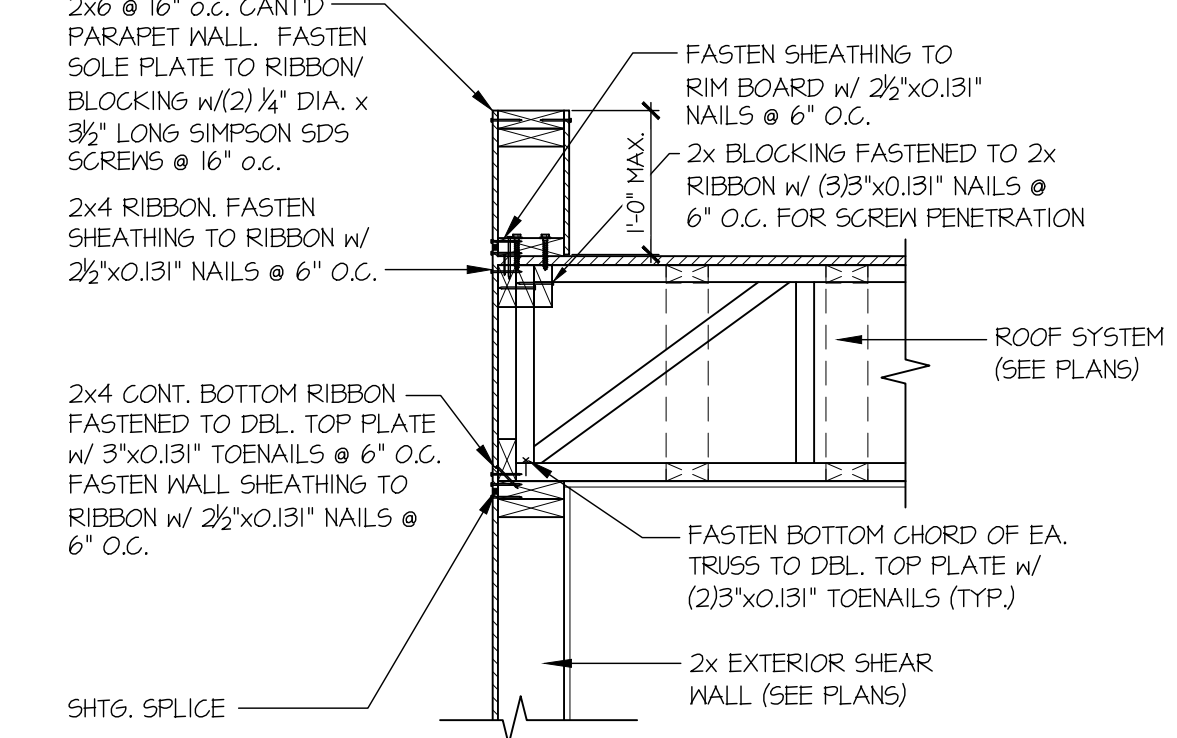
4 TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ EXTERIOR WALL
SCALE: 3/4"=1'-0" PARALLEL FRAMING



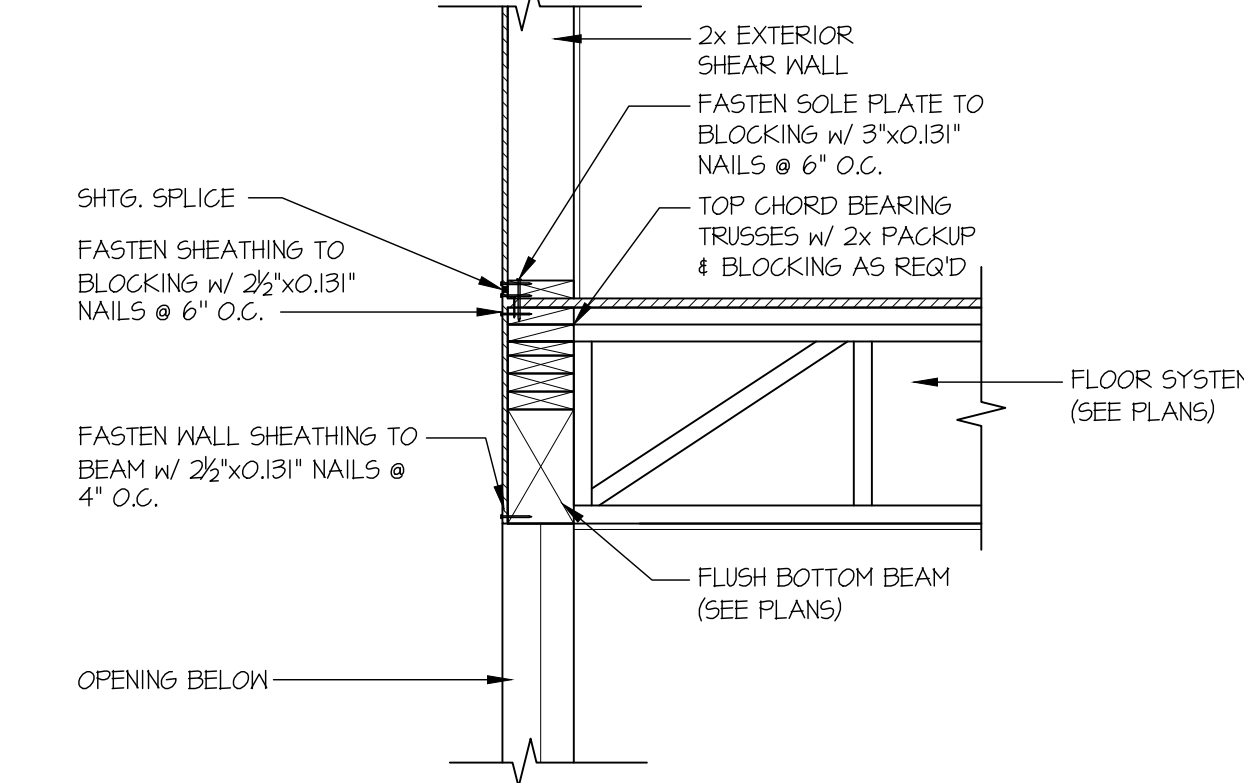
5 TYPICAL SHEAR TRANSFER DETAIL @ ROOF & EXTERIOR WALL
SCALE: 3/4"=1'-0"



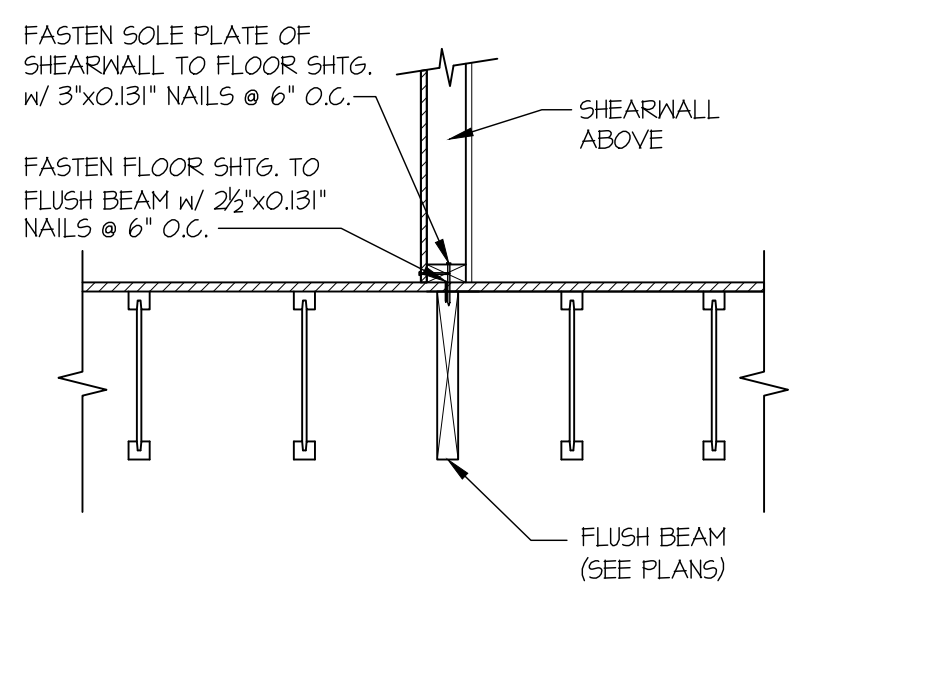
6 SHEAR TRANSFER DETAIL @ INTERIOR SHEAR WALL
SCALE: 3/4"=1'-0"



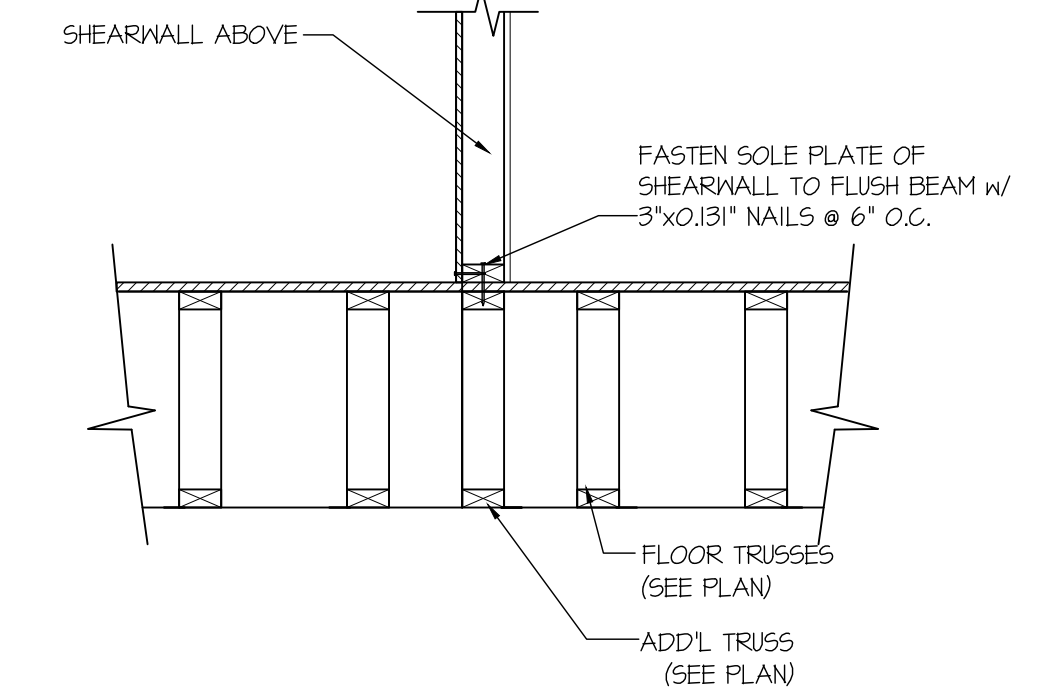
7 SECTION
SCALE: 3/4"=1'-0"



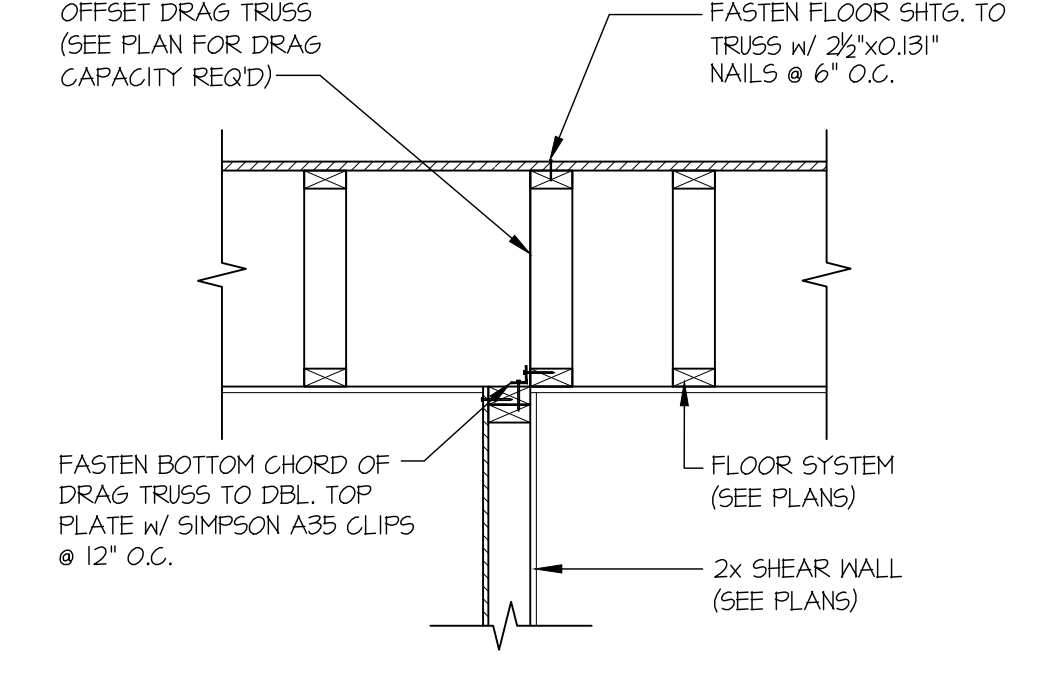
8 SECTION
SCALE: 3/4"=1'-0"



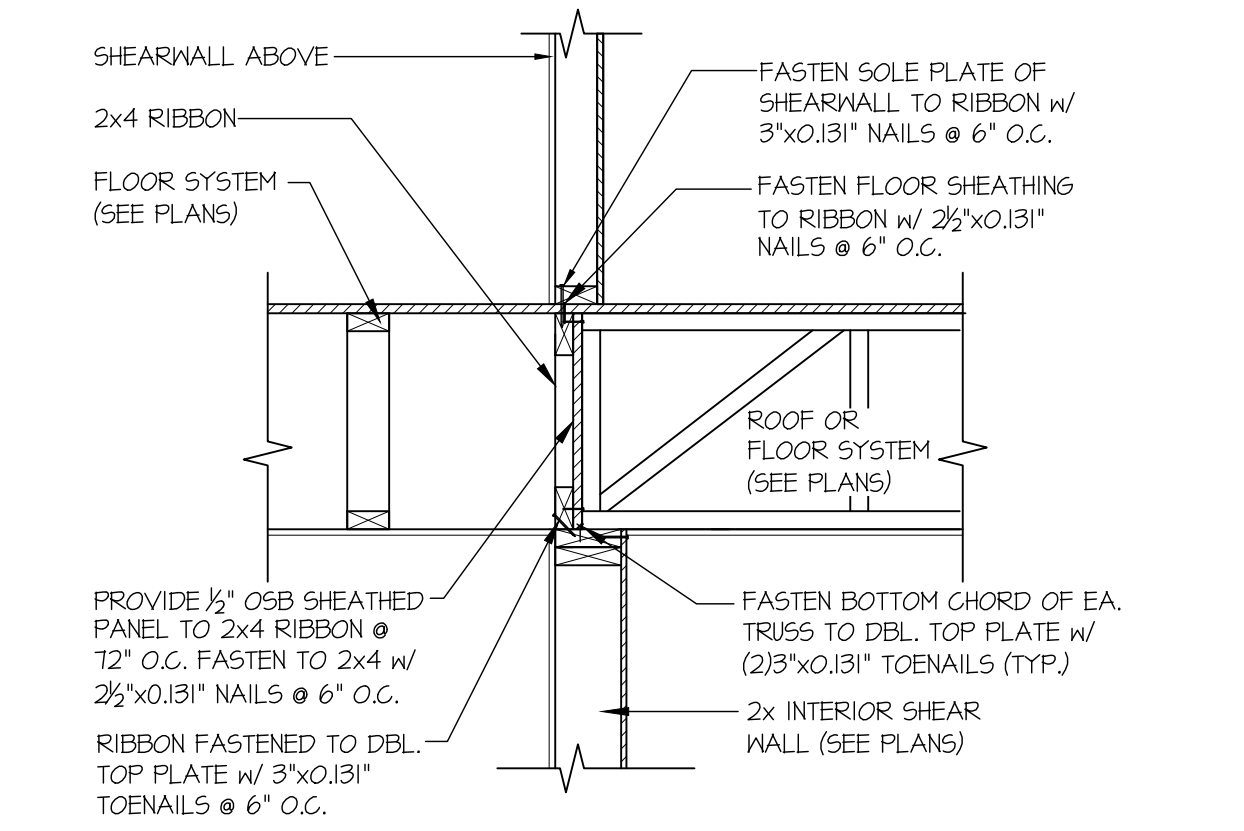
9 SHEAR TRANSFER DETAIL @ INTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0" PARALLEL FRAMING



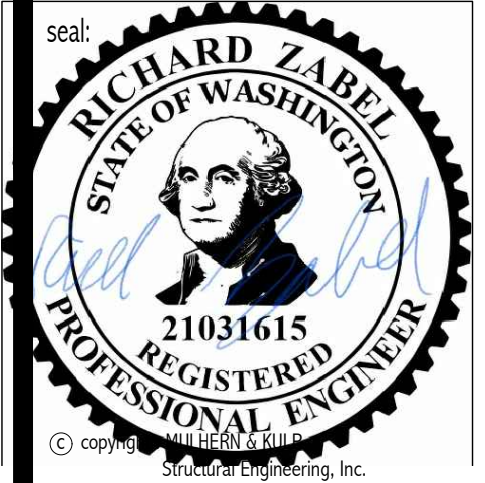
10 SHEAR TRANSFER DETAIL @ INTERIOR SHEARWALL ABOVE
SCALE: 3/4"=1'-0"



11 SHEAR TRANSFER DETAIL @ SHEAR WALL BELOW
SCALE: 3/4"=1'-0"



12 SHEAR TRANSFER DETAIL @ INTERIOR SHEAR WALL
SCALE: 3/4"=1'-0"



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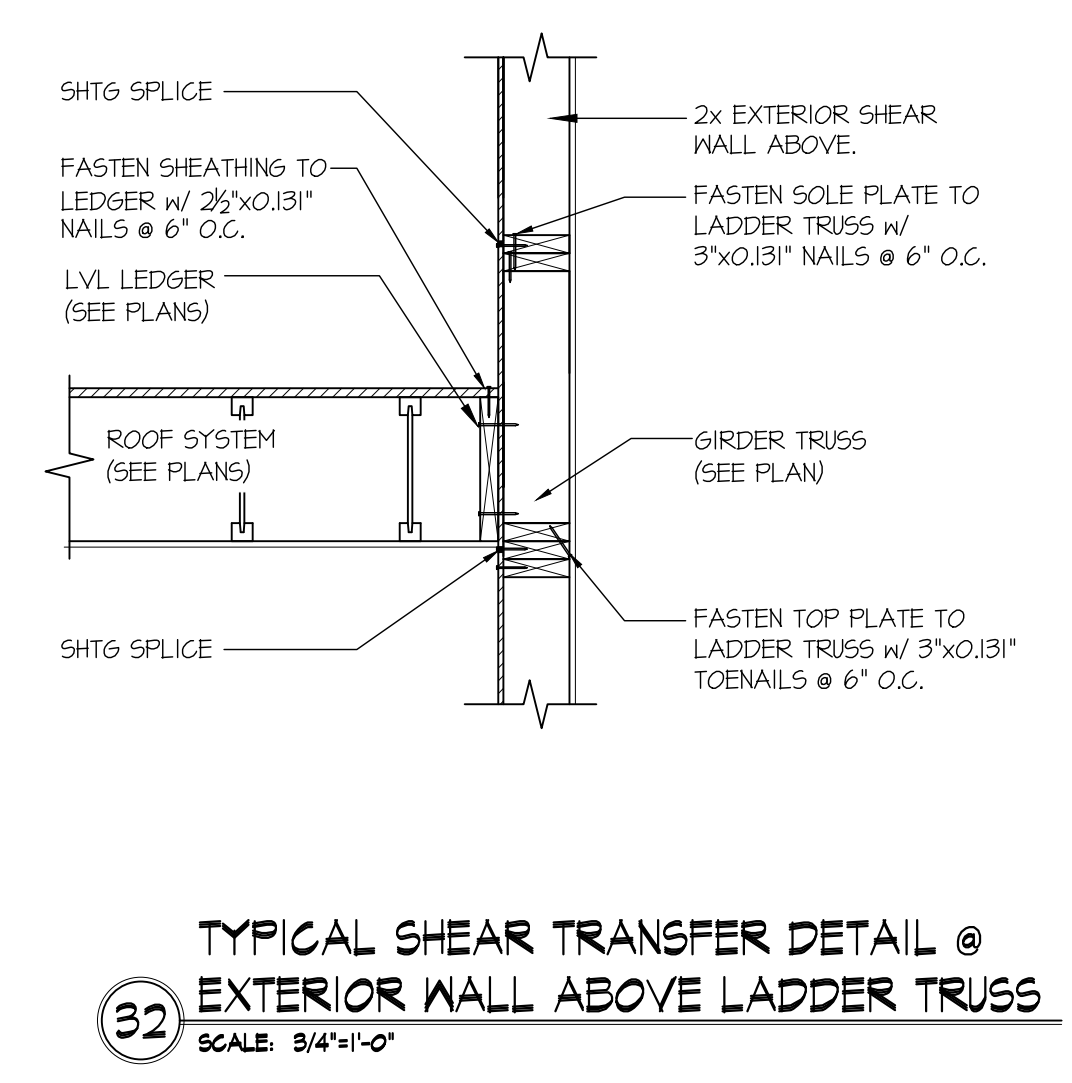
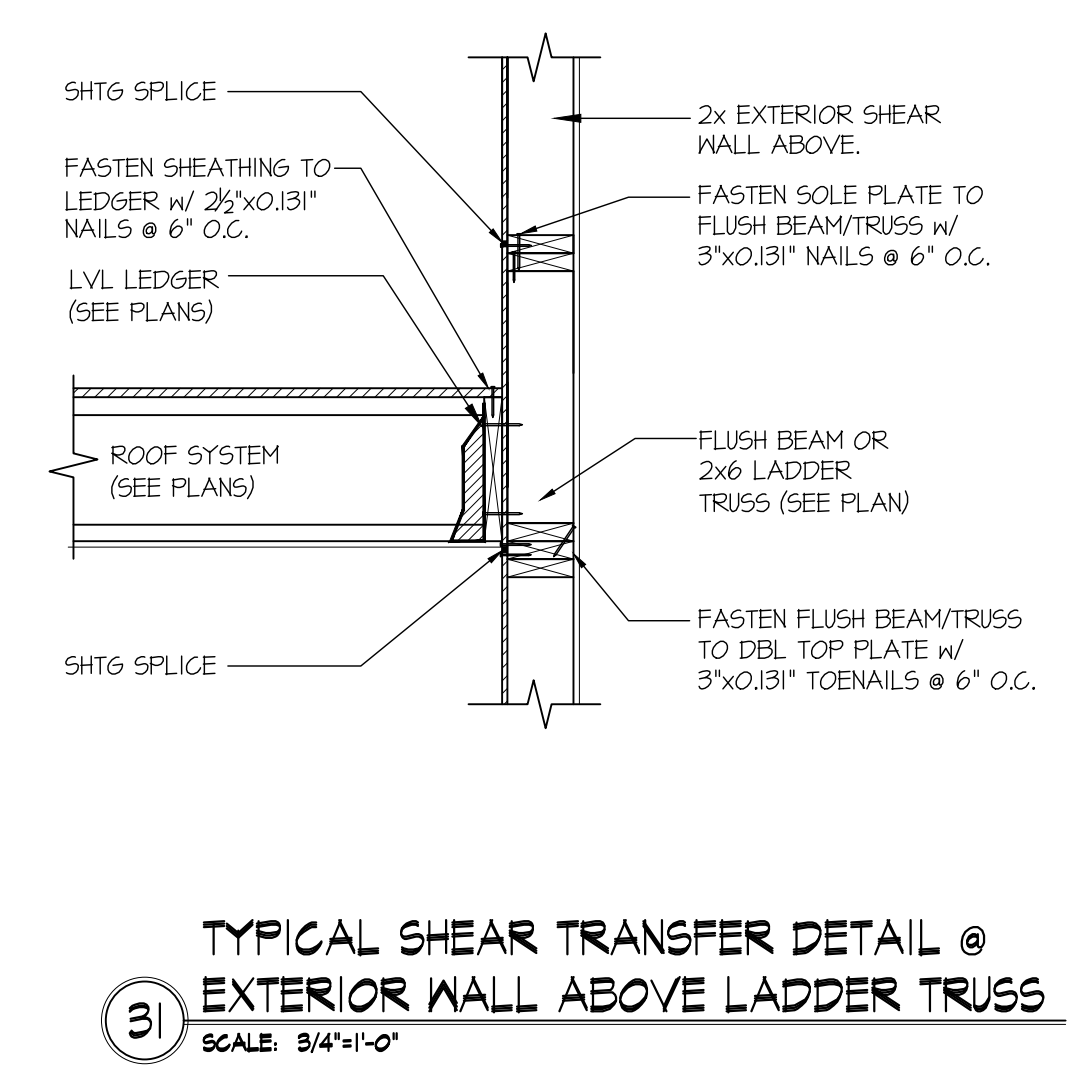
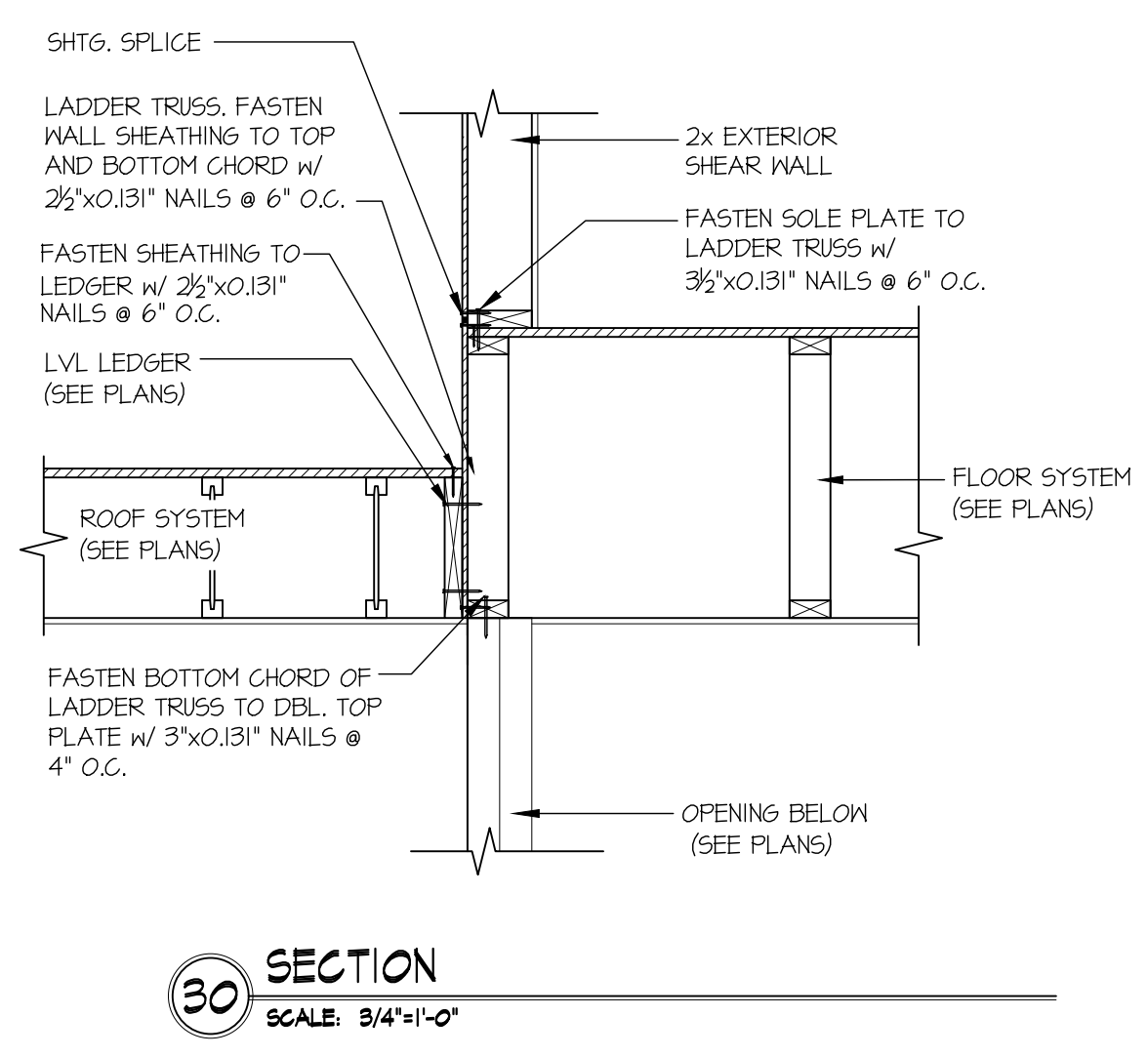
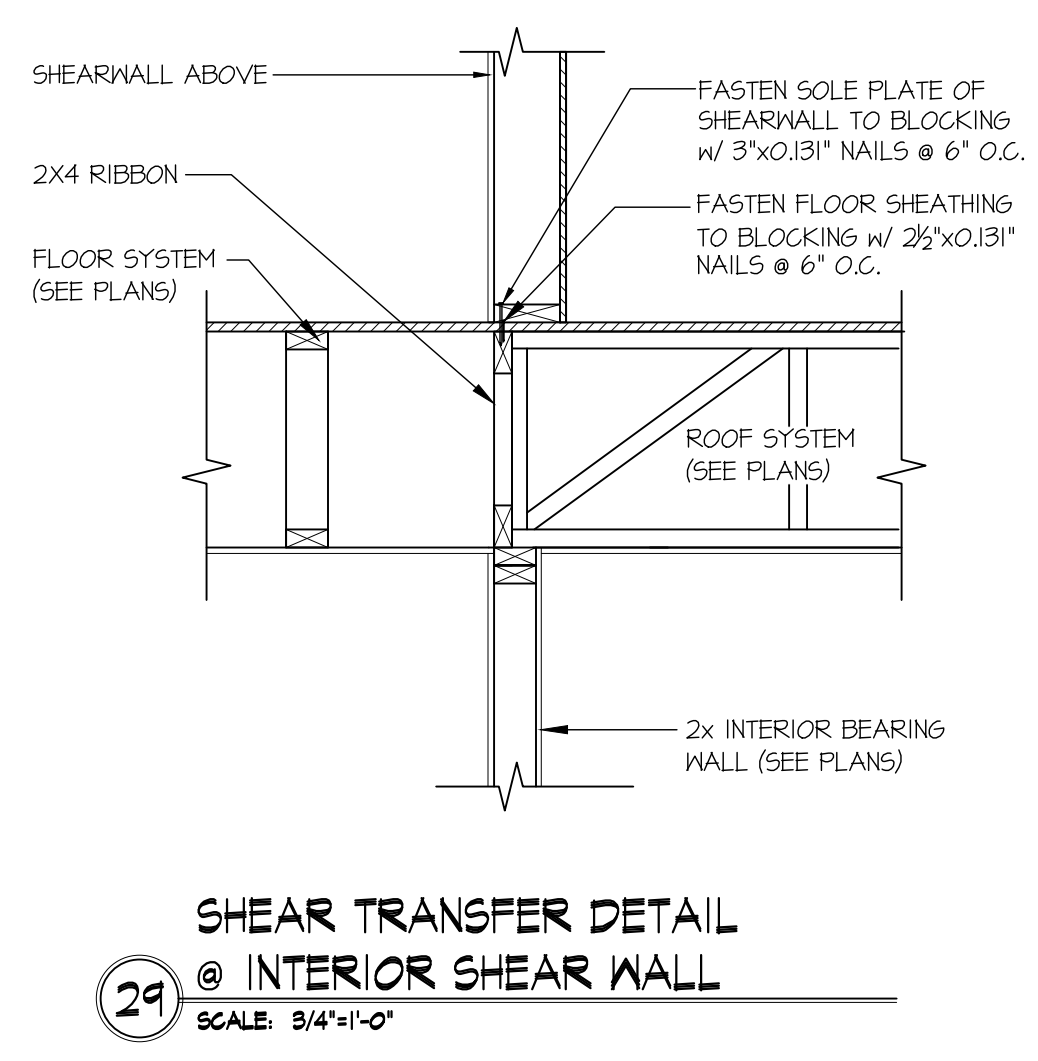
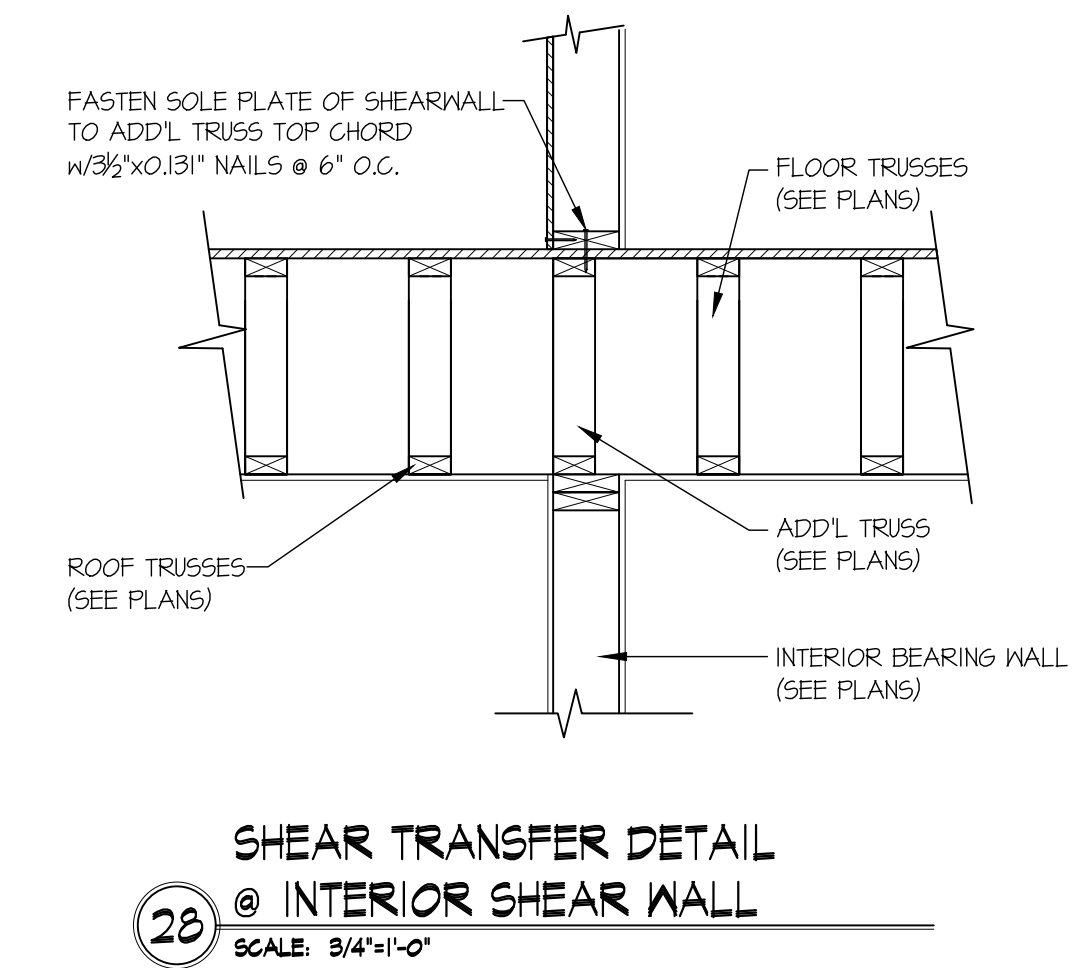
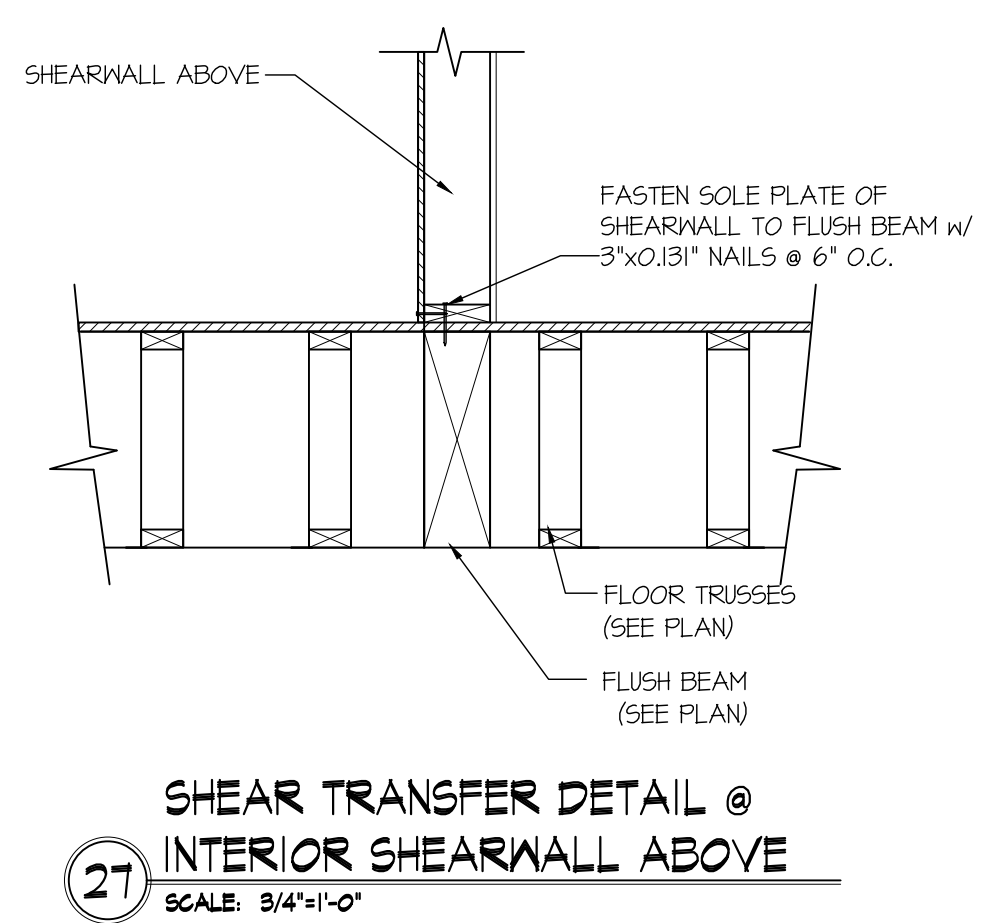
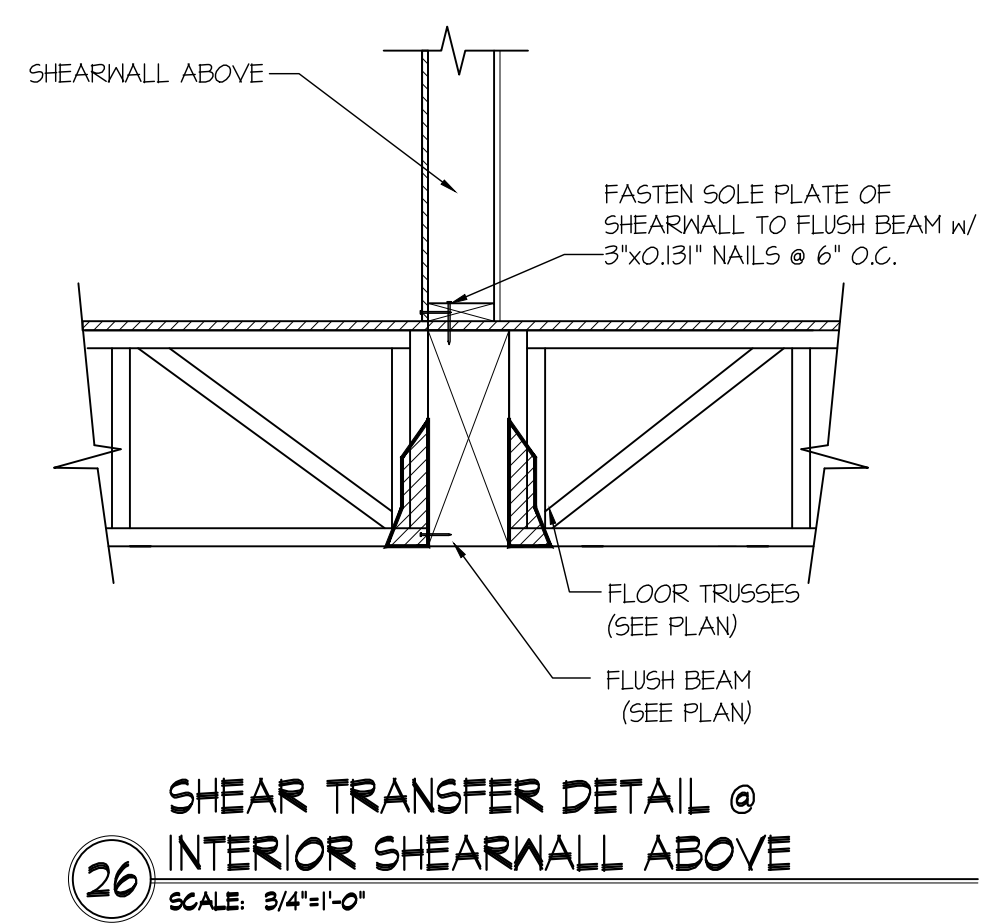
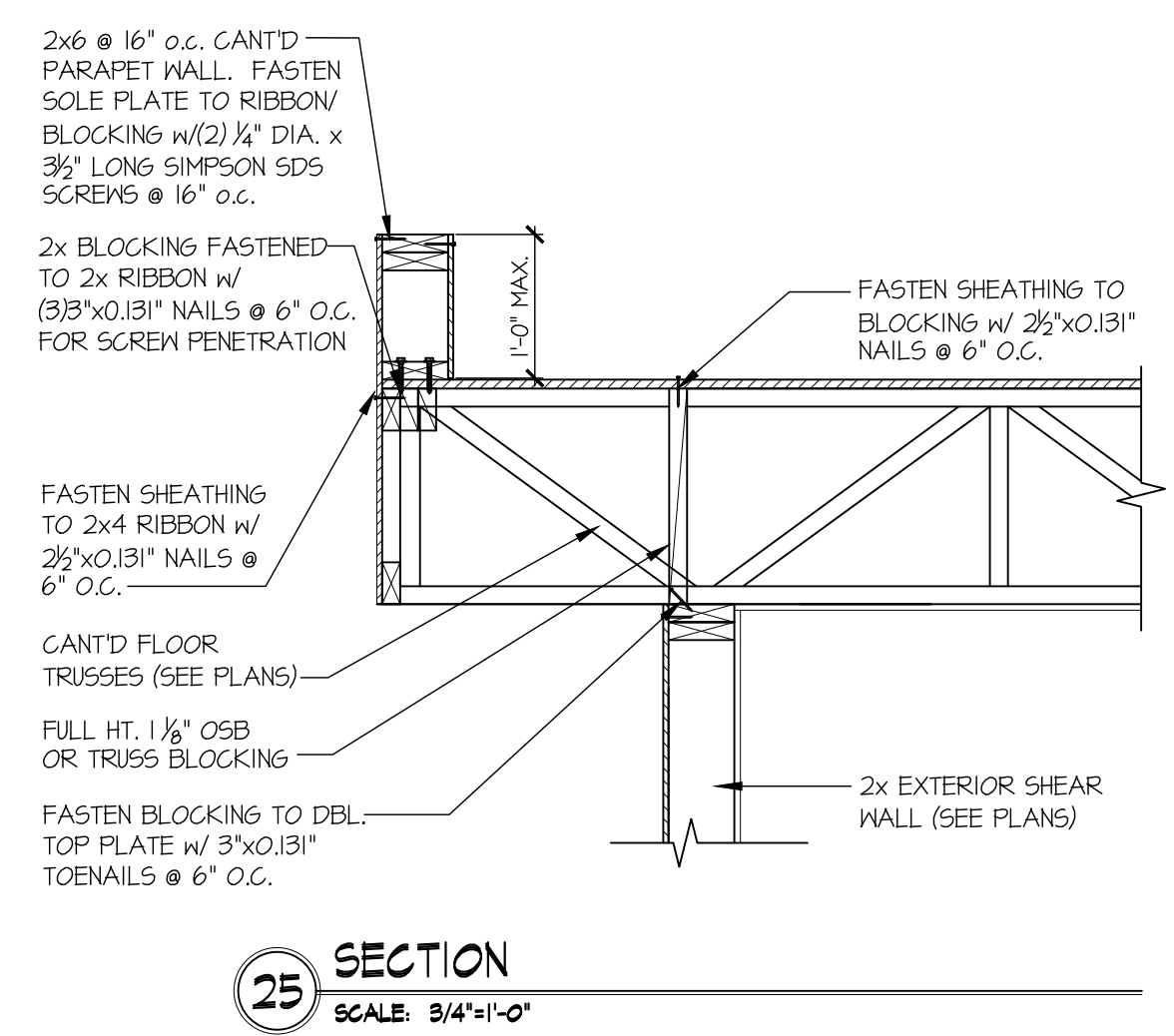
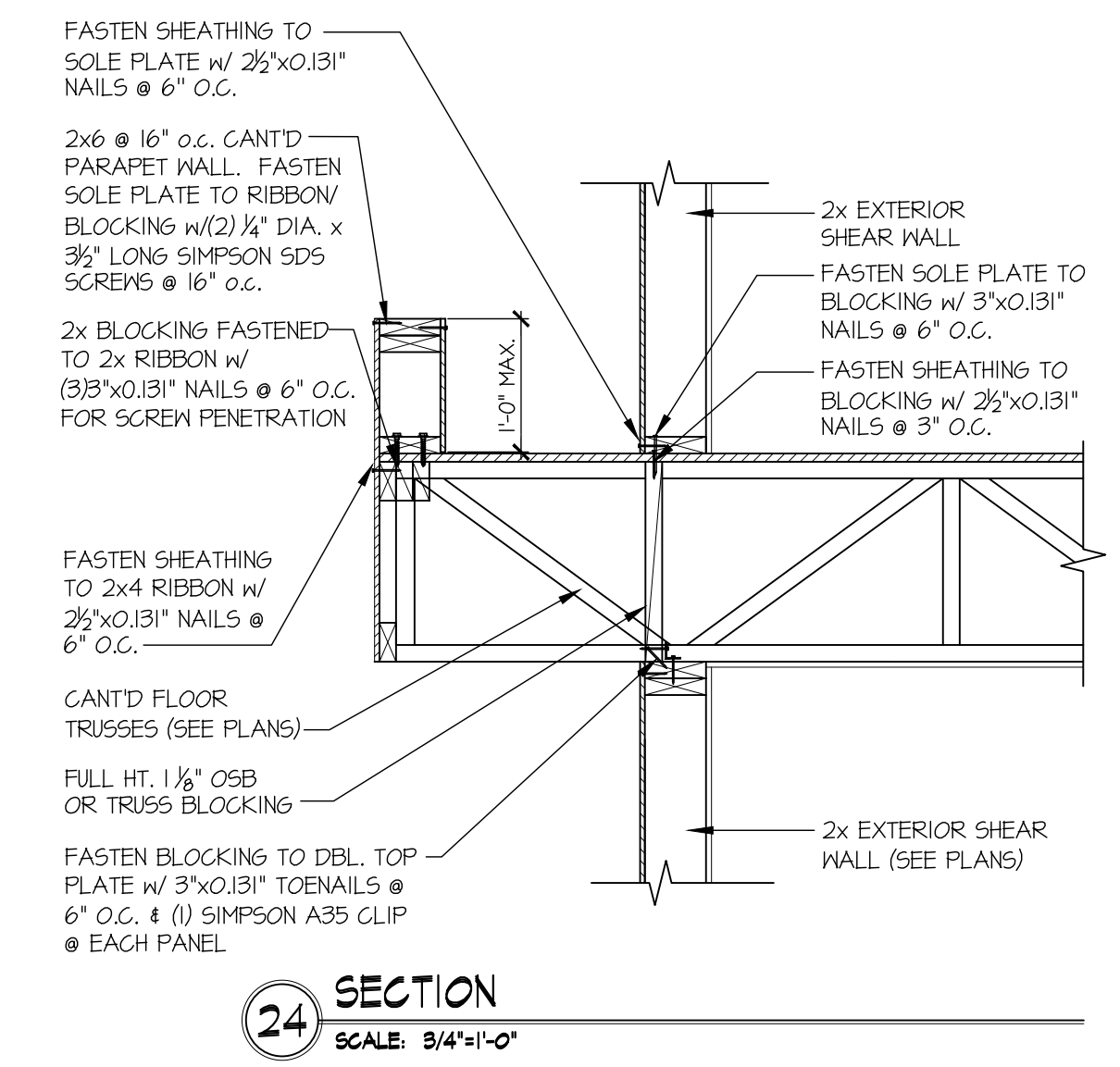
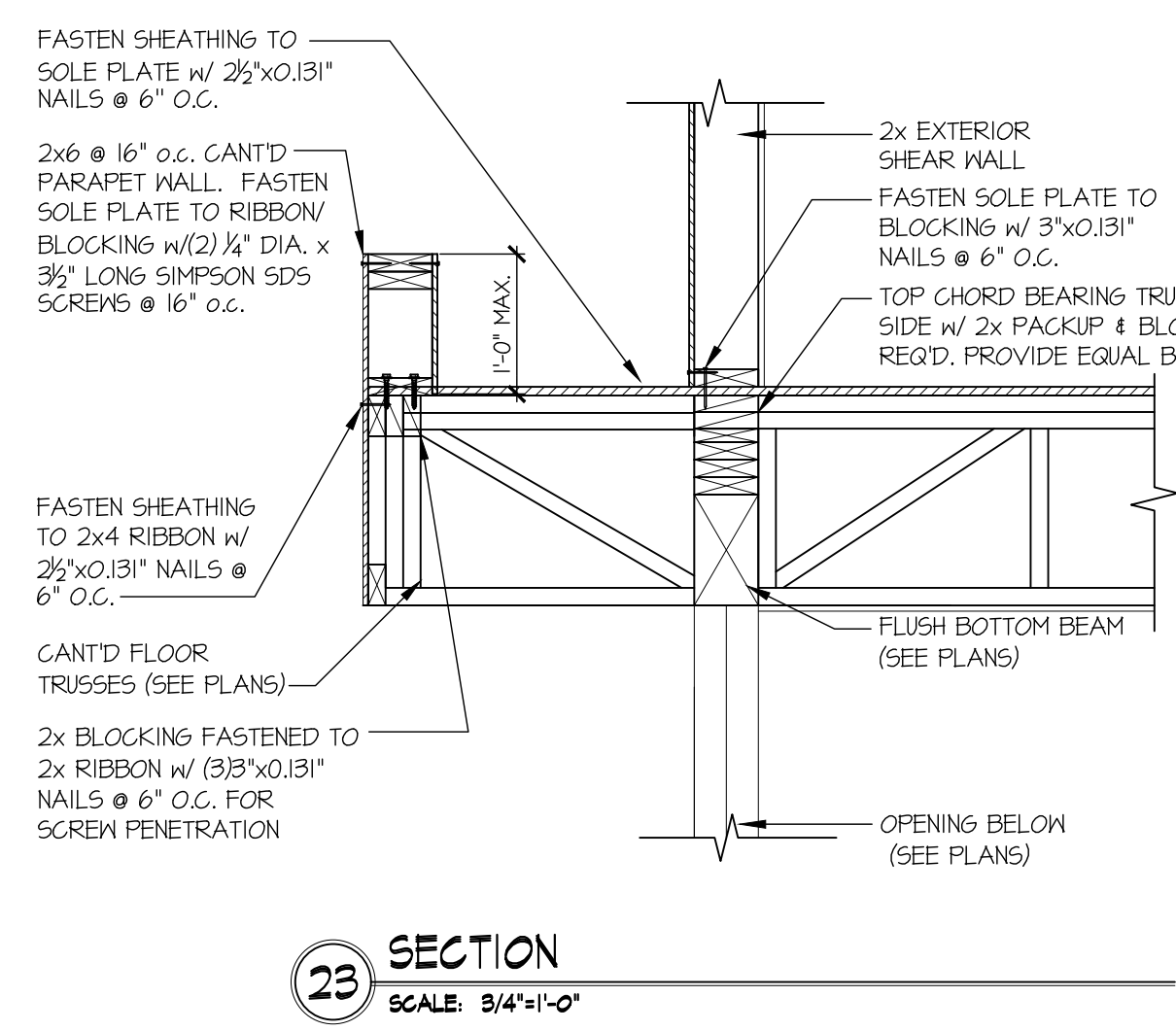
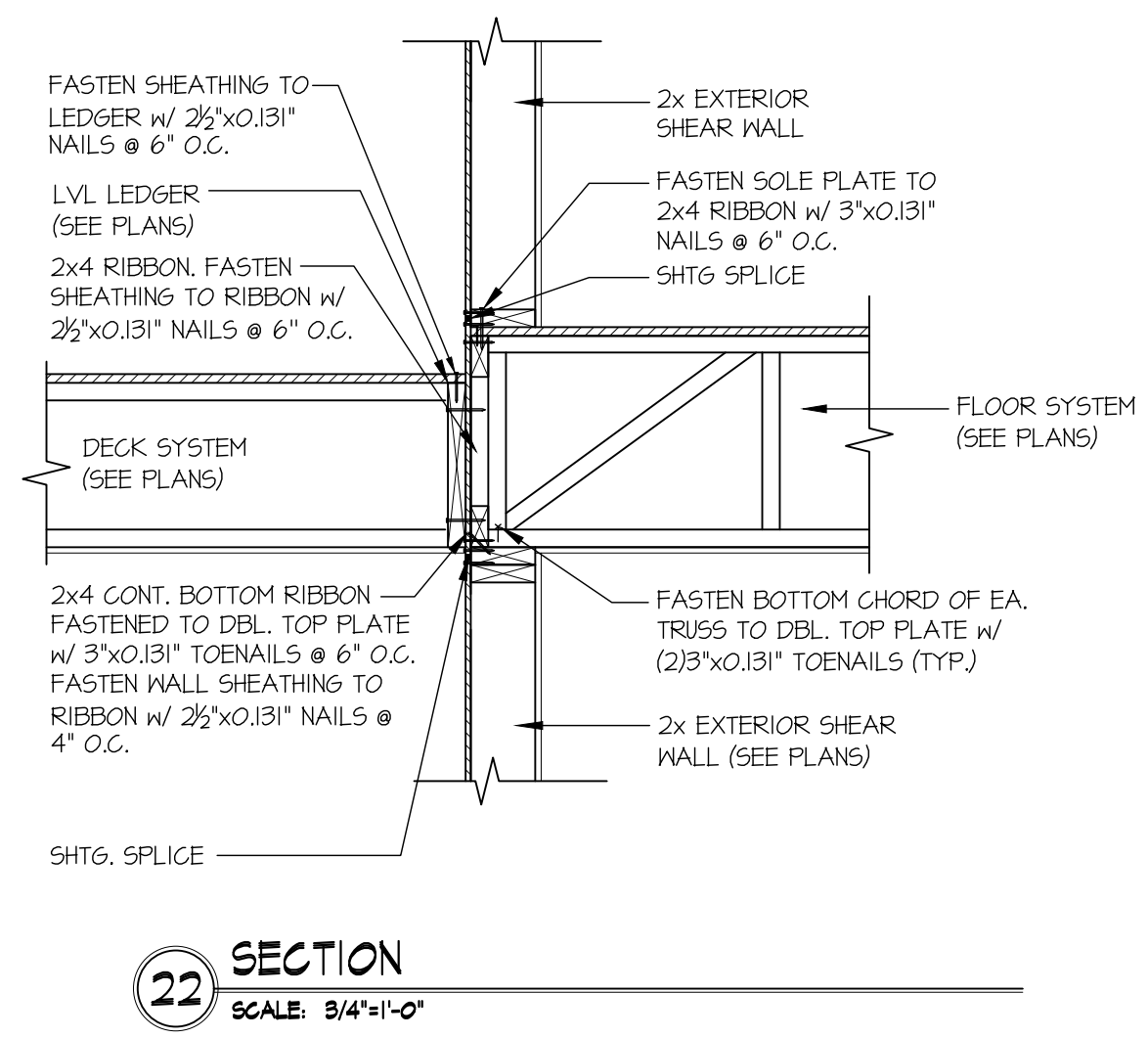
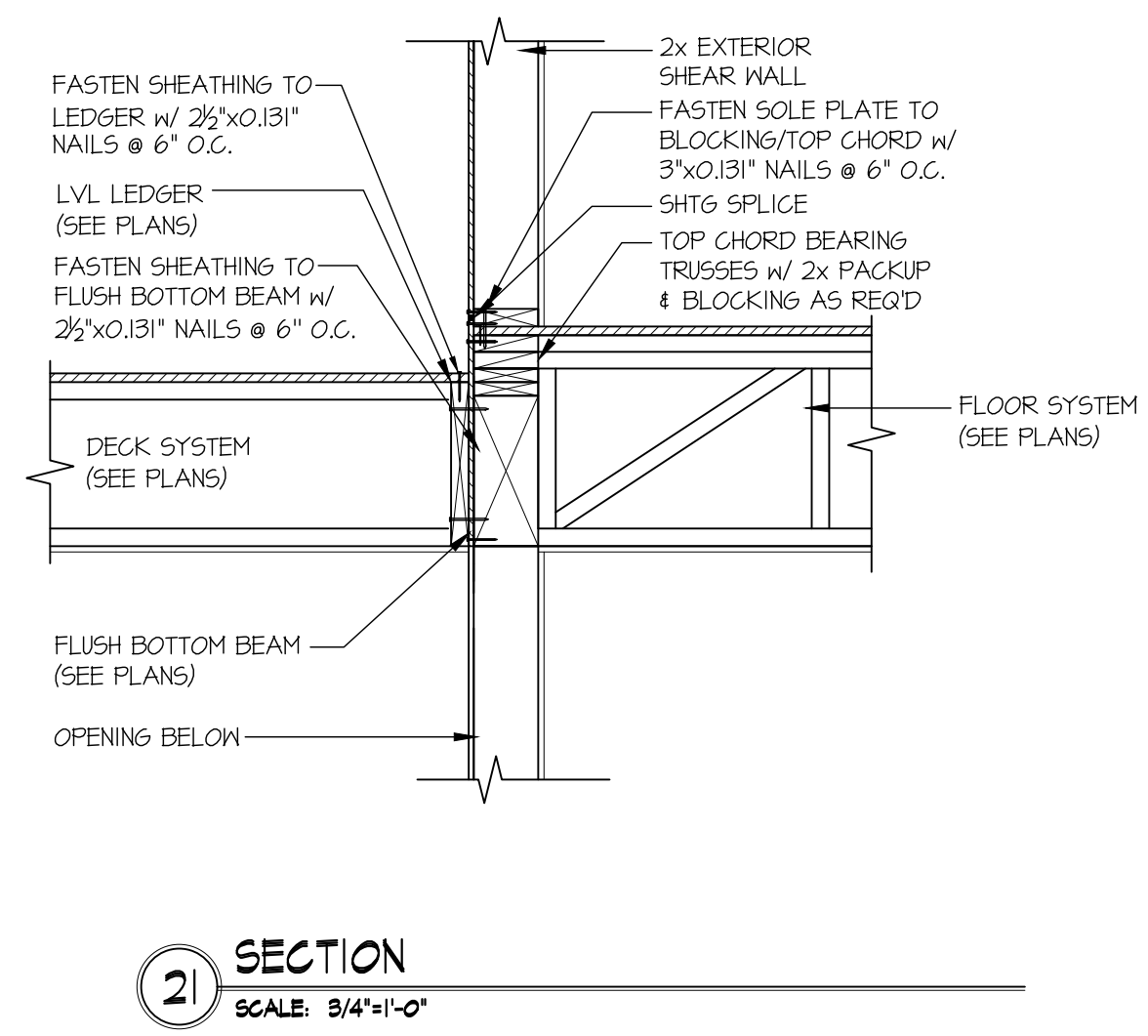
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drawn by: JCL
issue date: 09-13-22

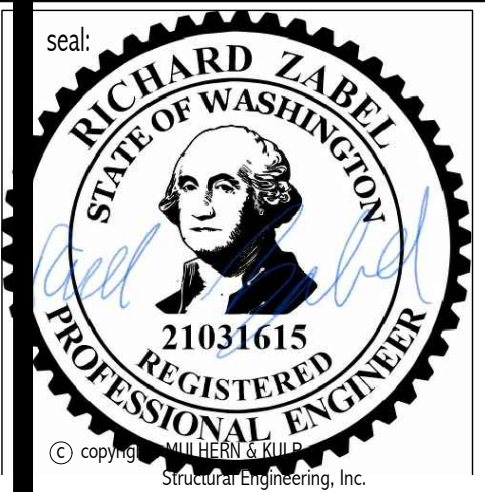
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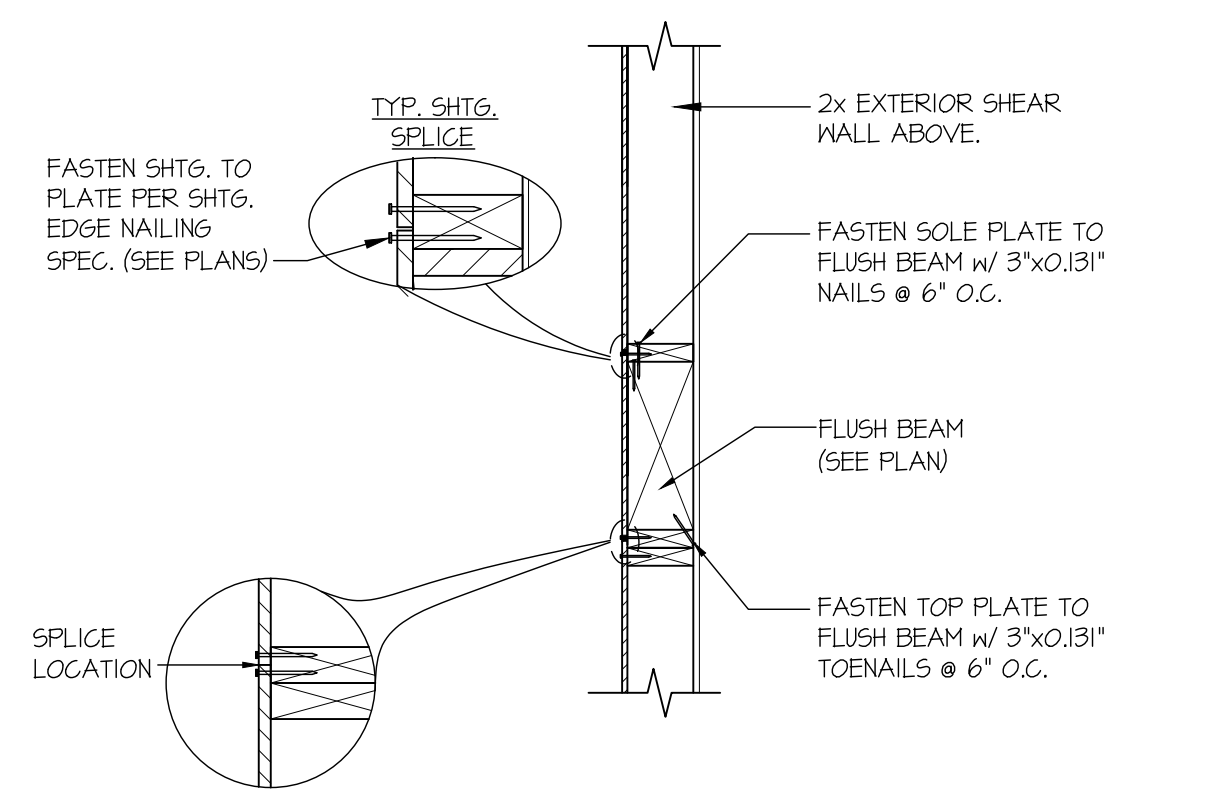
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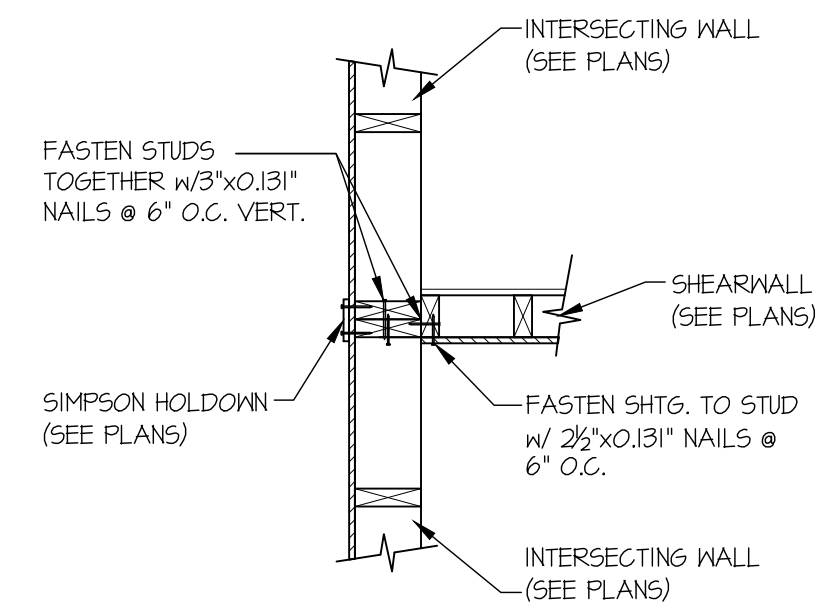
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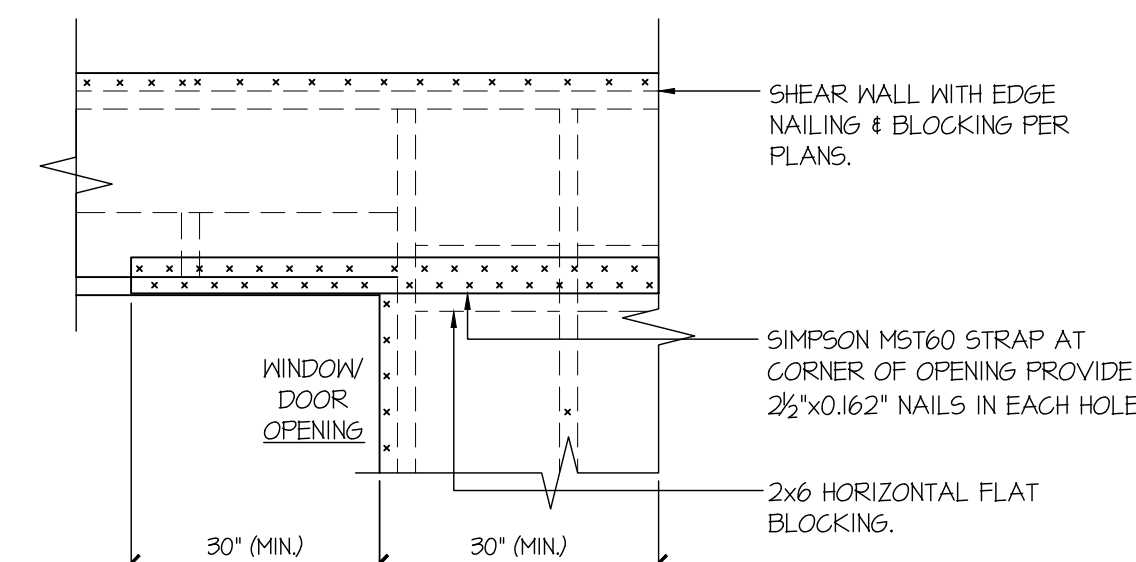
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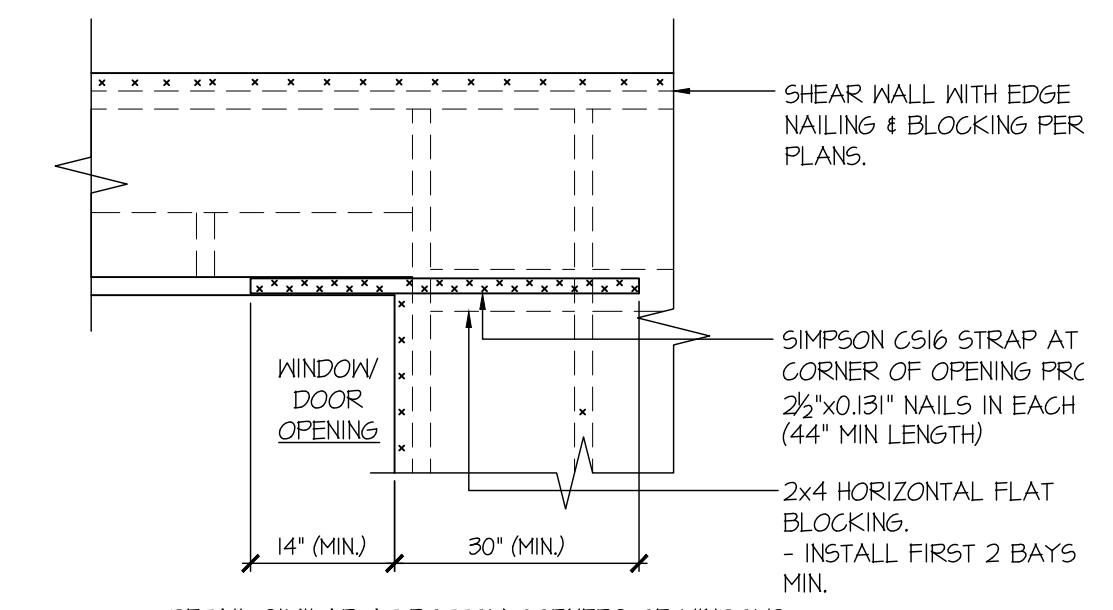
41 TYPICAL SHEAR TRANSFER DETAIL @ EXTERIOR WALL ABOVE FLUSH WIND BEAM
SCALE: 3/4"=1'-0"



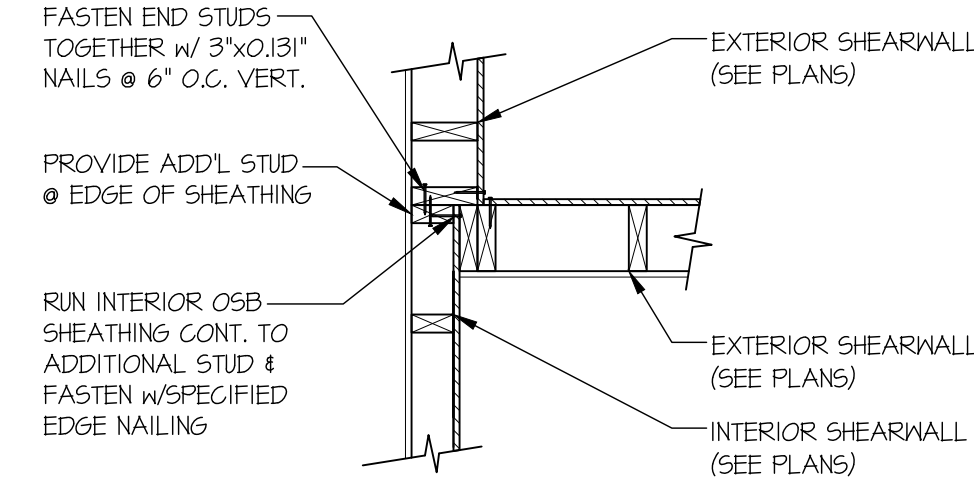
90 SHEAR TRANSFER DETAIL @ INTERSECTION
SCALE: 3/4"=1'-0"



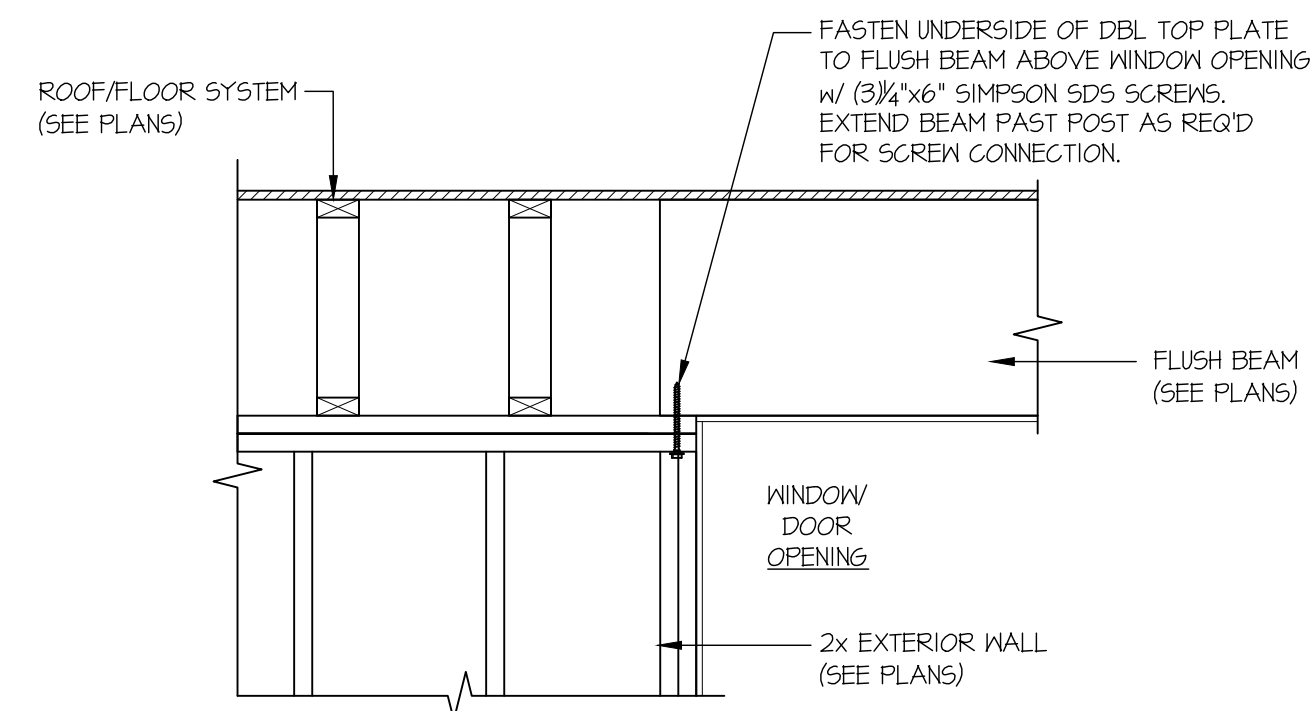
92 EXT. WALL & INT. SHEARWALL OPENING ELEVATION
SCALE: NTS



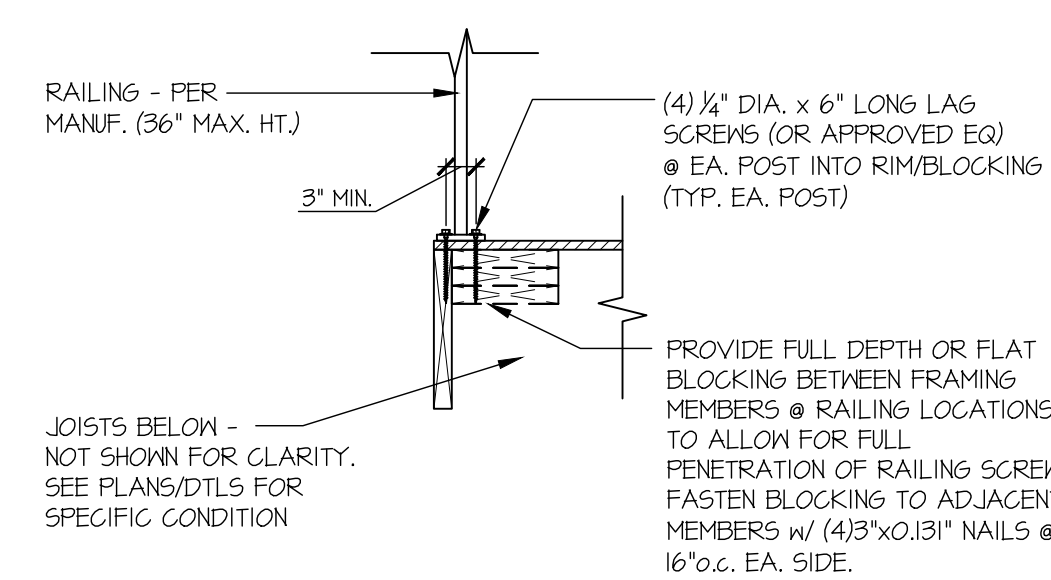
94 EXT. WALL & INT. SHEARWALL OPENING ELEVATION
SCALE: NTS



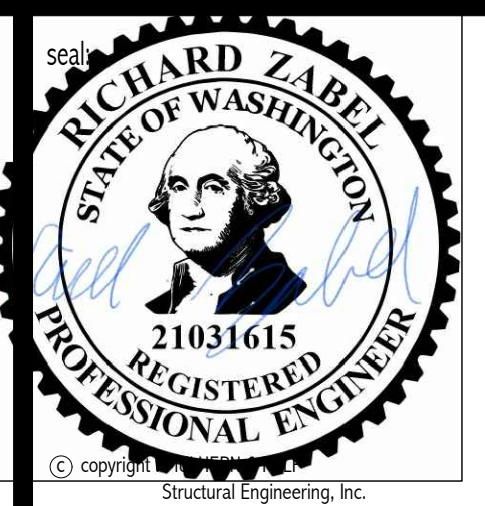
99 SHEAR TRANSFER DETAIL @ INTERSECTING INT. SHEARWALL
SCALE: 3/4"=1'-0" SHTG. OPPOSITE FACES



00 FLUSH HDR CONNECTION @ ROOF
SCALE: 3/4"=1'-0"



A TYP. RAILING CONNECTION
SCALE: 3/4"=1'-0" WOOD FRMS BELOW



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